

BUILDING DATA

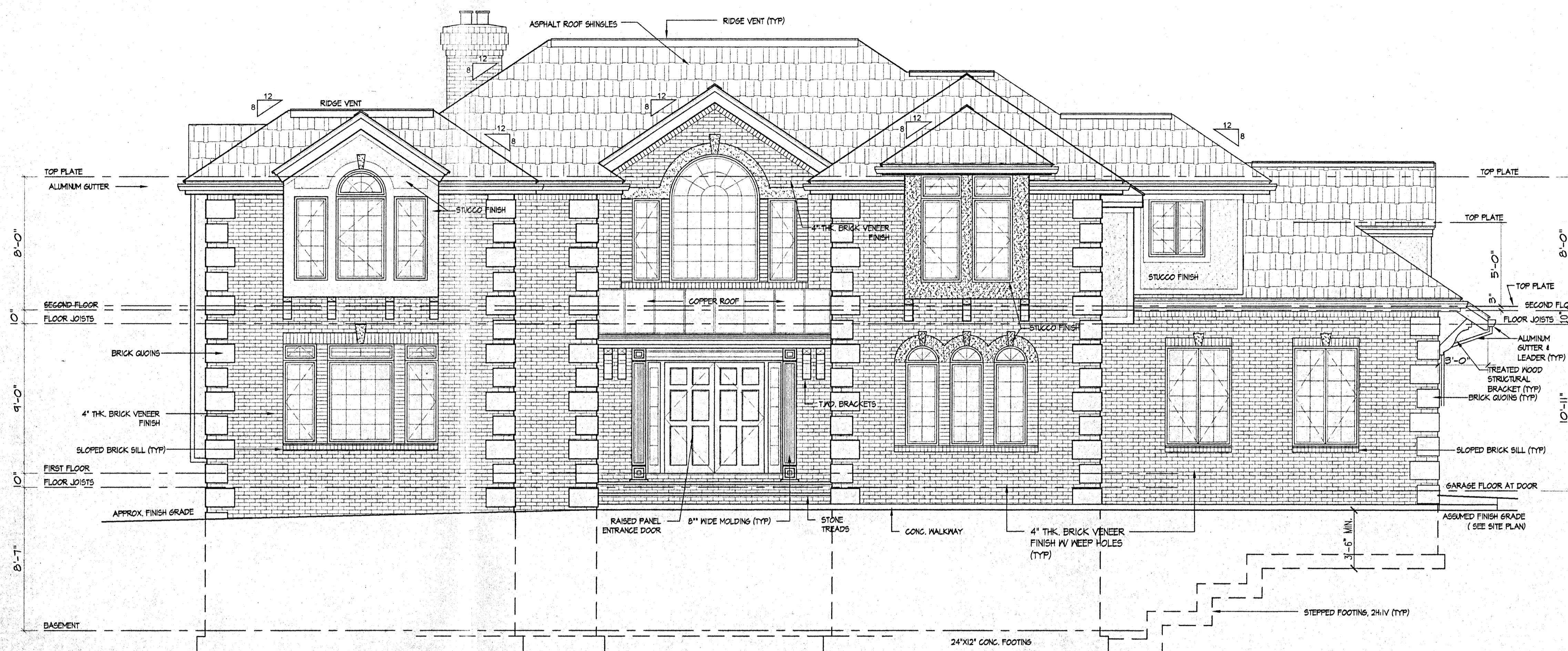
(ONE FAMILY) SEE SITE PLAN PREPARED BY P. ENGINEER FOR ADDITIONAL DATA

DISTRICT	REQUIRED	PROPOSED	VARIANCE REQUIRED
DISTRICT	D		NO
LOT AREA	10,000 SQ. FT.	10,004.81 SQ. FT.	NO
BUILDING HEIGHT	30'-0"	28'-0" (2-STORY) TO RIDGE	NO
BLDG. COVERAGE	20 %	19.88 %	NO
LIVING SPACE	30 %	29.96 %	NO
IMPERVIOUS AREA	30 %	33.49 %	YES
BUILDING SETBACKS (SEE SITE PLAN PREPARED BY ENGINEER)			

FLOOR AREA	
FIRST FLOOR	: 1,512.0 SQ. FT.
SECOND FLOOR	: 1,466.0 SQ. FT.
TOTAL LIVING AREA	: 2,978.0 SQ. FT.
GARAGE : 440.8 SQ. FT.	

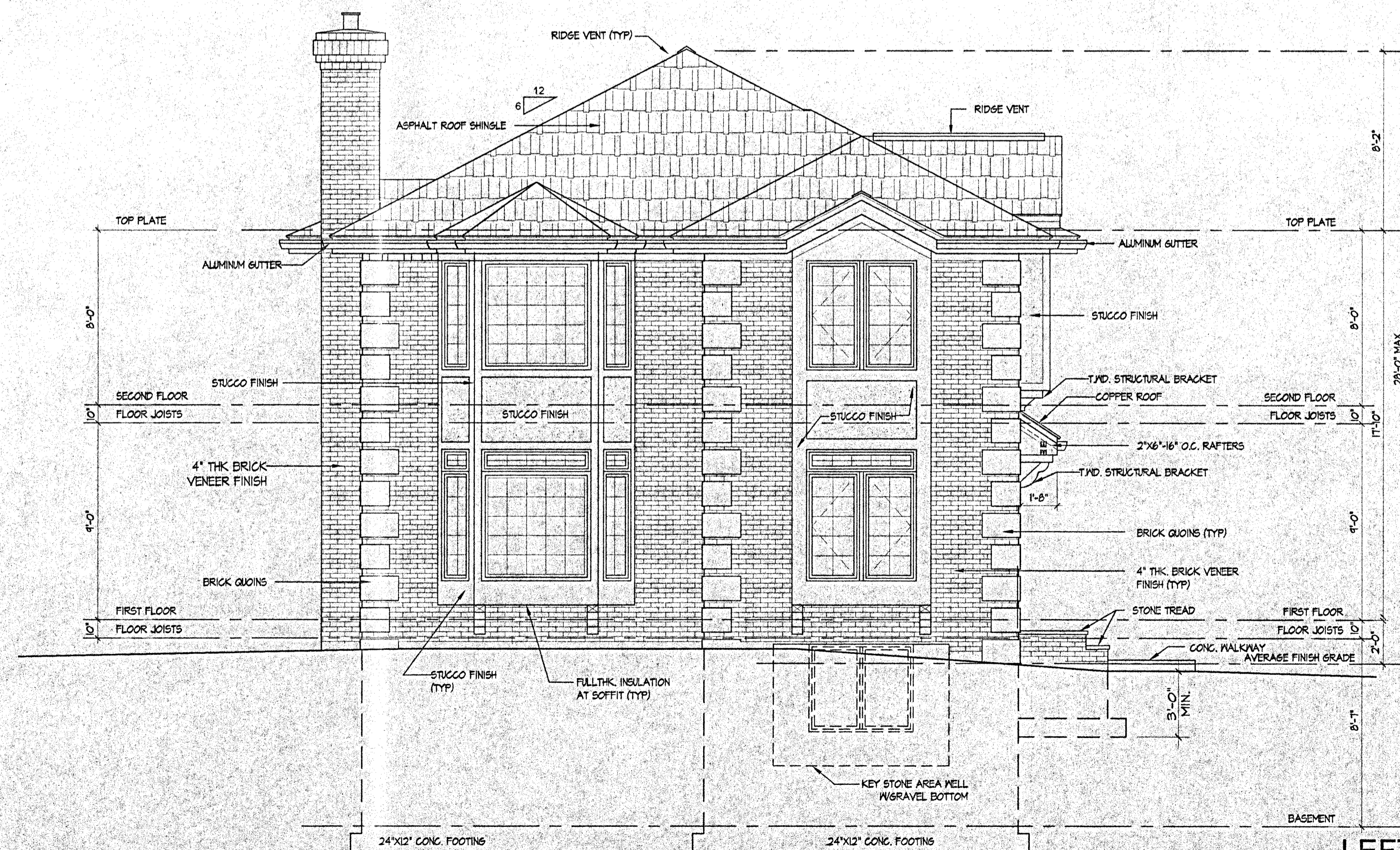
LIVING AREA: 2,998 / 10,004.81 = 29.96%

USE GROUP	R-5
CONSTRUCTION CLASS.	5B
BUILDING VOLUME	51,900+ CUFT.



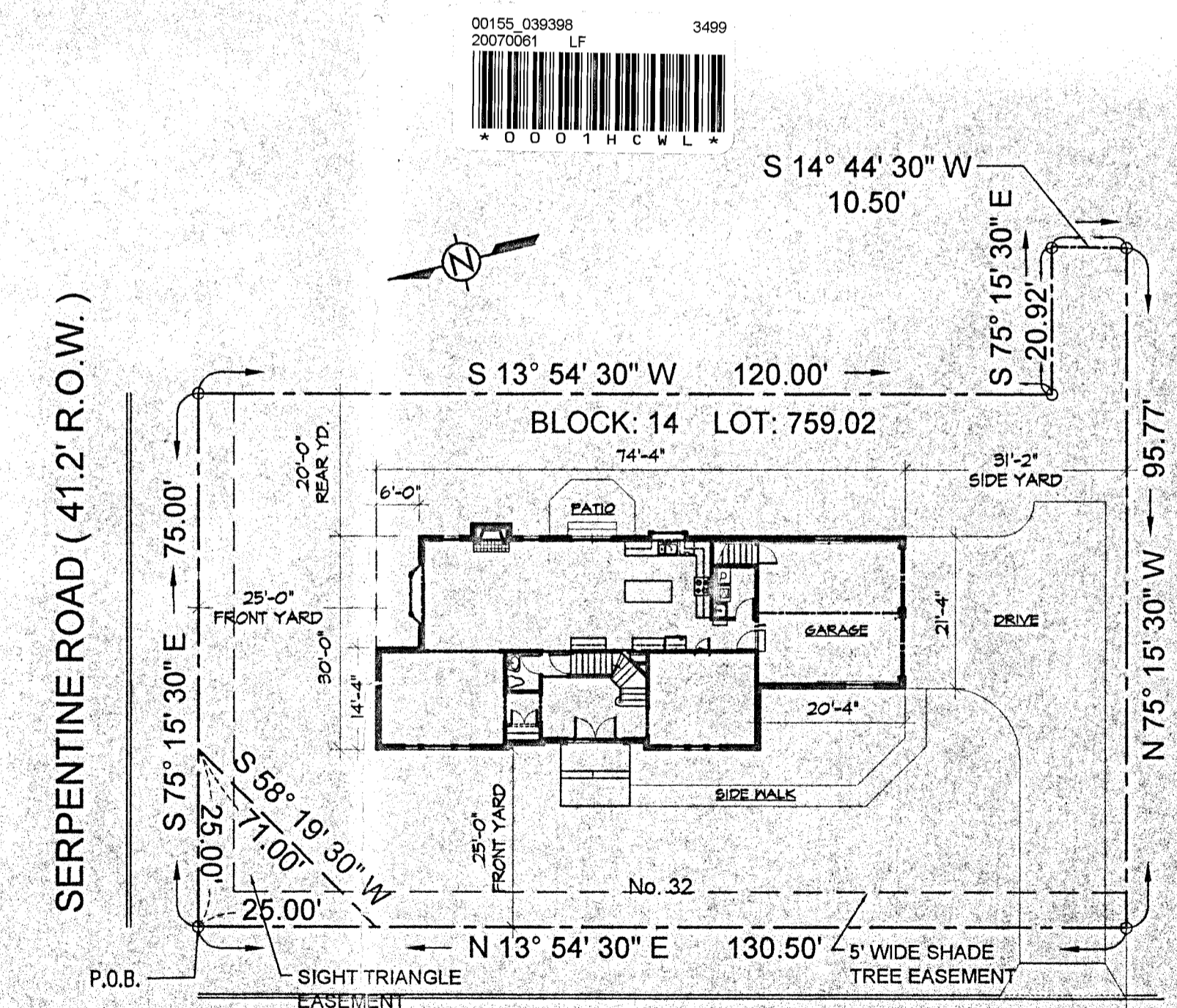
FRONT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



BROOKSIDE AVENUE (49.5' R.O.W.)

SEE SITE PLANS PREPARED BY P. ENGINEER FOR ADDITIONAL INFORMATIONS

PLOT PLAN

SCALE: 1"=20'

APPROVED
 BOROUGH OF DEMAREST
 BUILDING SUBCODE: *2/15/07 R. Beville*
 PLUMBING SUBCODE: *S. Kim 2/16/07*
 ELECTRICAL SUBCODE: *S. Kim 2/16/07*
 FIRE PROTECTION SUBCODE: *S. Kim 2/16/07*

REVISIONS

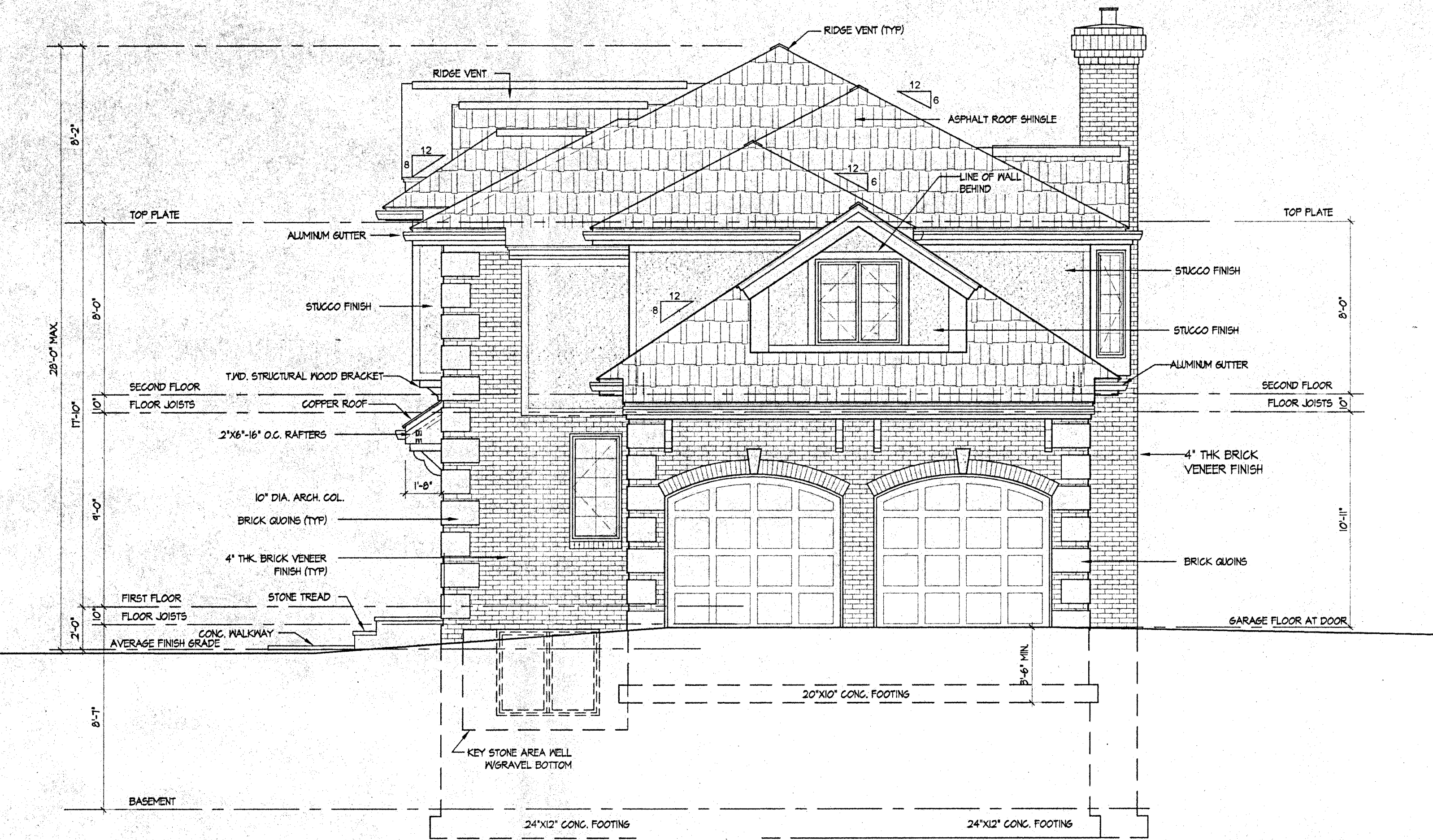
SIMON KIM, ARCHITECT
 N.Y. LICENSE NO. 008112
 N.Y. LICENSE NO. 008676-1
 412 WHITE OAK DRIVE
 PALISADES, NY 10964

FRONT & LEFT ELEVATIONS AND SITE PLAN
 PROJECT: NEW RESIDENCE FOR Mr. & Mrs. Sang Bae and Won Ja Kim
 28 BROOKSIDE AVENUE, DEMAREST, NEW JERSEY
 BLOCK: 14 LOT: 759.02

DATE: 08-26-06
 SCALE: AS SHOWN
 DRAWN BY: LF
 CHECKED BY: SK
 JOB NUMBER: 050625
 DWG. NUMBER: A-1
 OF 7 SHEETS



REAR ELEVATION
SCALE: 1/4"=1'-0"



RIGHT ELEVATION
SCALE: 1/4"=1'-0"

WINDOW SCHEDULE
(WINDOW SCHEDULE AS PER ANDERSEN WINDOW CO.)
(DOUBLE PAIN INSULATED GLASS)

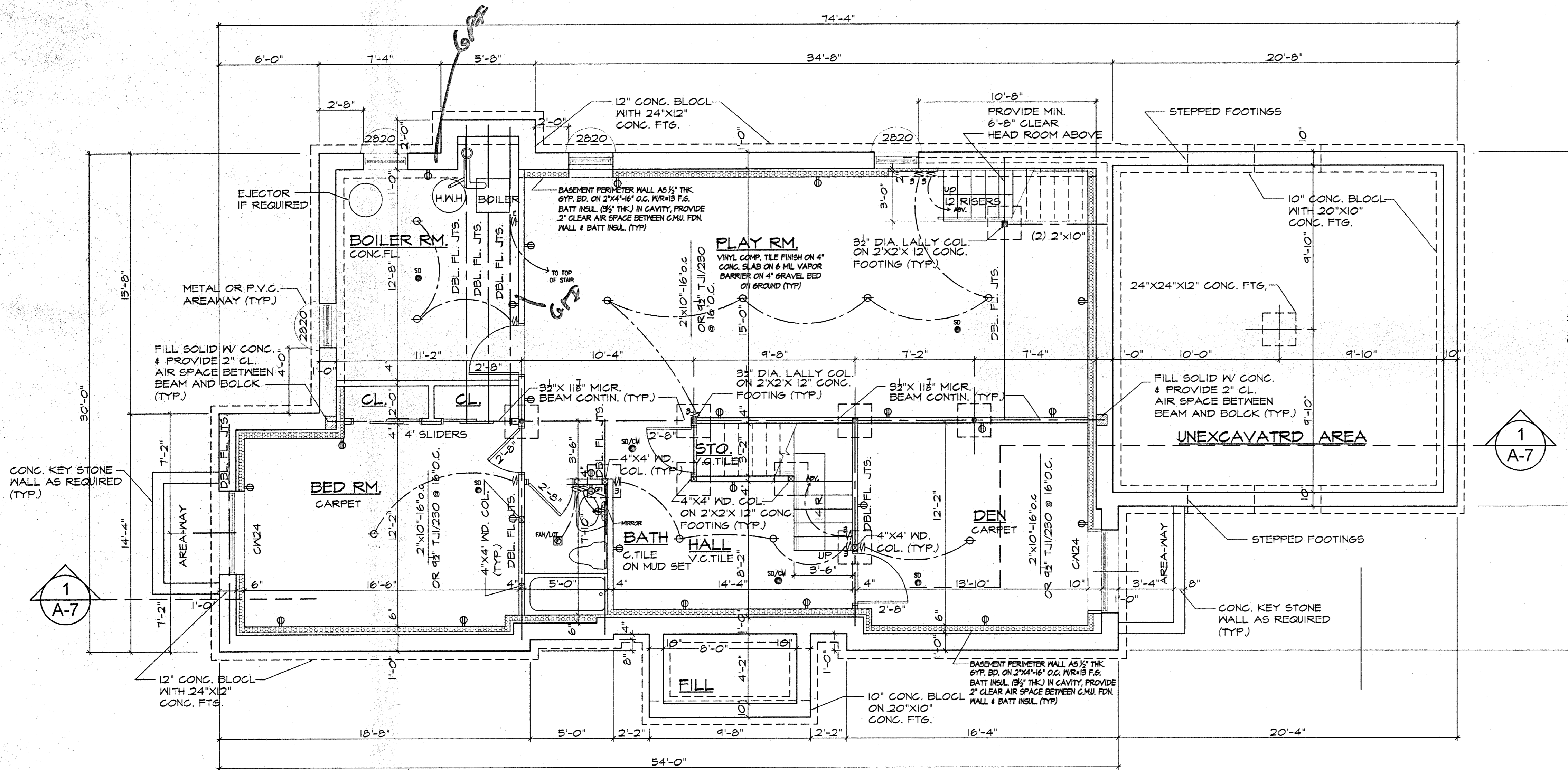
ITEM NUMBER	ROUGH OPENING	REMARKS
CN15	1'-9"x5'-0 3/8"	
CN155	1'-9"x5'-5 3/8"	
CN145	1'-9"x4'-5 3/8"	
CN235	3'-5 1/4"x3'-5 3/8"	
C14	2'-0 5/8"x4'-0 1/2"	TEMP. GLASS @ MASTER BATHRM.
C15	2'-0 5/8"x5'-0 3/8"	
CXW15	3'-0 1/2"x5'-0 3/8"	EGRESS WINDOW
CW24	4'-9"x4'-0 1/2"	EGRESS WINDOW
C25	4'-0 1/2"x5'-0 3/8"	
C26	4'-0 1/2"x6'-0 3/8"	
CW14	2'-4 7/8"x4'-0 1/2"	
CW15	2'-4 7/8"x5'-0 3/8"	EGRESS WINDOW
CW155	2'-4 7/8"x6'-5 3/8"	EGRESS WINDOW
CW245	4'-9"x4'-5 3/8"	EGRESS WINDOW
P4050	4'-0 1/2"x5'-0 3/8"	PICTURE WINDOW
P5050	5'-0 3/8"x5'-0 3/8"	PICTURE WINDOW
P5055	5'-0 3/8"x5'-5 3/8"	PICTURE WINDOW
PTR4010	4'-0 1/2"x1'-0 1/2"	TRAMSON
CTR2010	2'-0 5/8"x1'-0 1/2"	TRAMSON
CTR2410	2'-4 7/8"x1'-0 1/2"	TRAMSON
2820	2'-8 1/4" X1'-11 3/4"	CELLAR WINDOW
AR251	2'-4 7/8"x1'-5 1/2"	AWNING WITH TRANSOM
AFCP3045	3'-0 1/2"x4'-4 13/16"+4 13/16" (CH. HT.)	TEMP. GLASS @ MASTER BATHRM.
CTC1	2'-0 5/8"x1'-2 7/8"	ARCH WINDOW
CTCXW1	3'-0 1/2"x1'-8 3/4"	ARCH WINDOW
SE545	5'-5"x4'-11 7/8"+32 1/4" (CH. HT.)	SPRINGLINE WINDOW -ARCH
FWG6080R	6'-0"x8'-0"	SLIDING DOOR

Simon Kim
SIMON KIM, ARCHITECT
N.J. LICENSE NO. A08212
N.Y. LICENSE NO. 076376-1
412 WHITE OAK DRIVE
PALISADES, NY 10964

REAR & RIGHT ELEVATIONS AND WINDOW SCHEDULE
PROJECT: NEWBESCHREDE
FOR Mr. & Mrs. Sang Bae and Won Ja Kim
38 BROOKSIDE AVENUE, NEWBESCHREDE, NEW JERSEY
BLOCK: 14 LOT: 789A2

DATE: 06-25-06
SCALE: AS SHOWN
DRAWN: LF
CHECKED: SK

JOB NUMBER: 060625
DWG. NUMBER: A-2
OF 7 SHEETS



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

Simon Kim

SIMON KIM, ARCHITECT
N.J. LICENSE NO. A08212
N.Y. LICENSE NO. 016676-1
412 WHITE OAK DRIVE
PALISADES, NY 10964

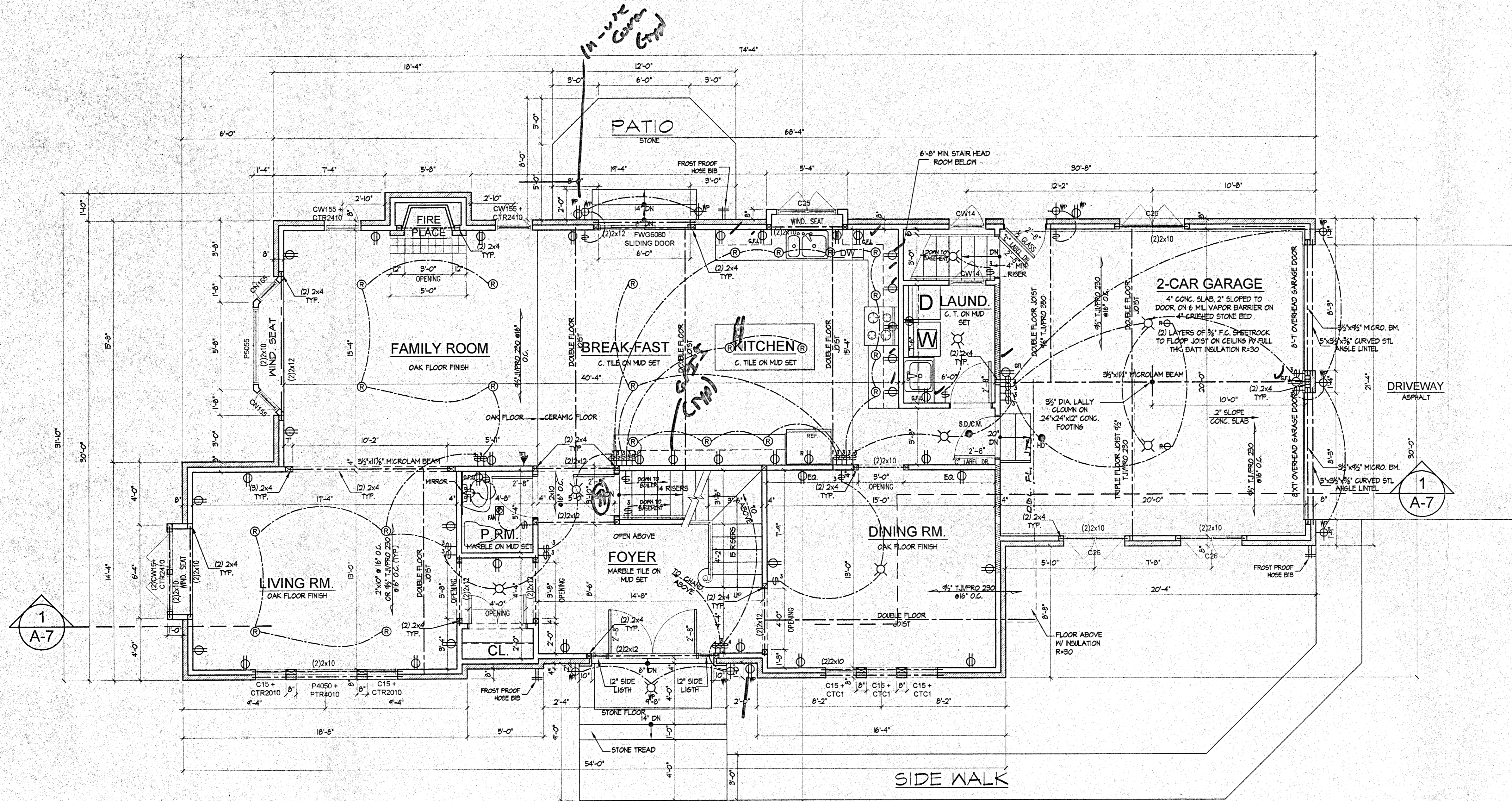
TITLE: **BASEMENT FLOOR PLAN**

PROJECT: **NEW RESIDENCE FOR Mr. & Mrs. Sang Bae and Won Ja Kim**
28 BROOKSIDE AVENUE, DEWAREST, NEW JERSEY
BLOCK: 14 LOT: 75B02

DATE: 06-25-06
SCALE: AS SHOWN
DRAWN BY: LF
CHECKED BY: SK

JOB NUMBER: **060625**

DWG. NUMBER: **A-3**
OF 7 SHEETS



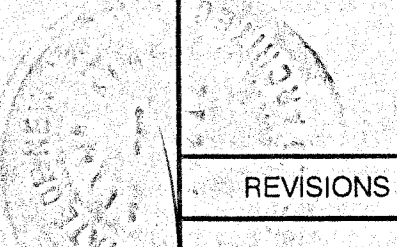
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

NOTES: PROVIDE DOUBLE FLOOR JOISTS UNDER THE WALLS WHERE FLOOR JOISTS ARE RUNNING PARALLEL AND UNDER POSTS (TYP).

ANGLE LINTEL SCHEDULE

MASONRY OPENING	ANGLE SIZE	REMARKS
UPTO 11'-4" OPENING	4" X 4" X 3/8"	
UPTO 8'-4" OPENING	4" X 4" X 1/2"	
UPTO 6'-4" OPENING	4" X 3 1/2" X 3/8"	
UPTO 5'-0" OPENING	4" X 3 1/2" X 1/4"	


SIMON KIM, ARCHITECT
 N.J. LICENSE NO. A08212
 N.Y. LICENSE NO. 018616-1
 412 WHITE OAK DRIVE
 PALISADES, NY 10964

REVISIONS

TITLE: FIRST FLOOR PLAN

DATE: 09-25-06

SCALE: AS SHOWN

DRAWN: LF

CHECKED: SK

JOB NUMBER: 060625

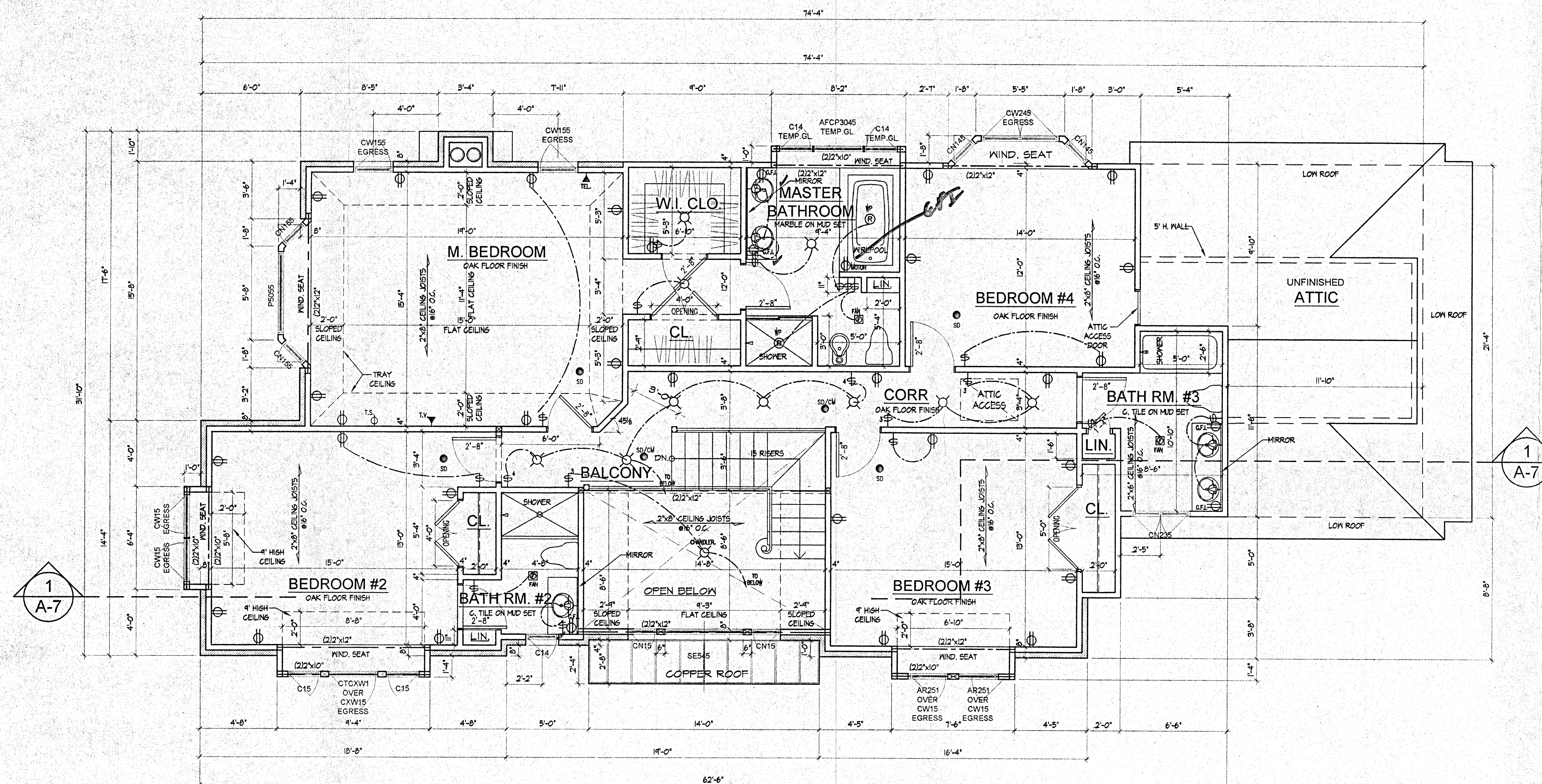
OWNER: NAME/REAR

PROJECT: NEW RESIDENCE FOR Mr. & Mrs. Song Bae and Won Ja Kim

ADDRESS: 4300 WINDY HILL DRIVE, DEMAREST, NEW JERSEY

BLOCK: 14 LOT: 7930Z

A-4
OF 7 SHEETS



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

NOTES: PROVIDE DOUBLE FLOOR JOISTS UNDER THE WALLS WHERE FLOOR JOISTS ARE RUNNING PARALLEL AND UNDER POSTS (TYP).

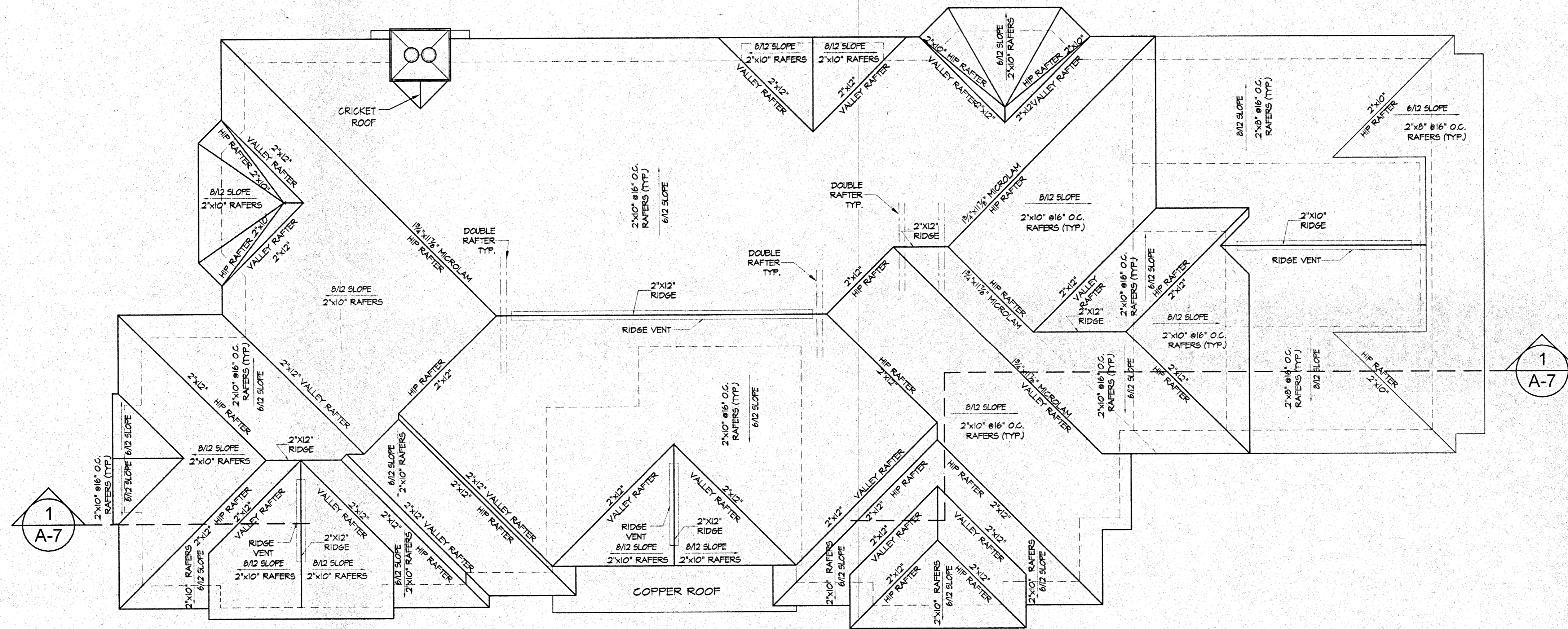
Simon Kim
 SIMON KIM, ARCHITECT
 N.J. LICENSE NO. A08212
 N.Y. LICENSE NO. 018676-1
 412 WHITE OAK DRIVE
 PALISADES, NY 10964

REVISIONS

TITLE: SECOND FLOOR PLAN
 PROJECT: NEW RESIDENCE
 FOR Mr. & Mrs. Seung Bae and Won Ja Kim
 28 BROOKSIDE AVENUE, DEMAREST, NEW JERSEY
 BLOCK: 14 LOT: 159.02

DATE: 06-25-06	SCALE: AS SHOWN	DRW: LF	CHECKED: SK
JOB NUMBER: 060625		DWG. NUMBER: A-5	

A-5
 OF 7 SHEETS



ROOF PLAN
SCALE: 1/4"=1'-0"

1
A-7

1
A-7

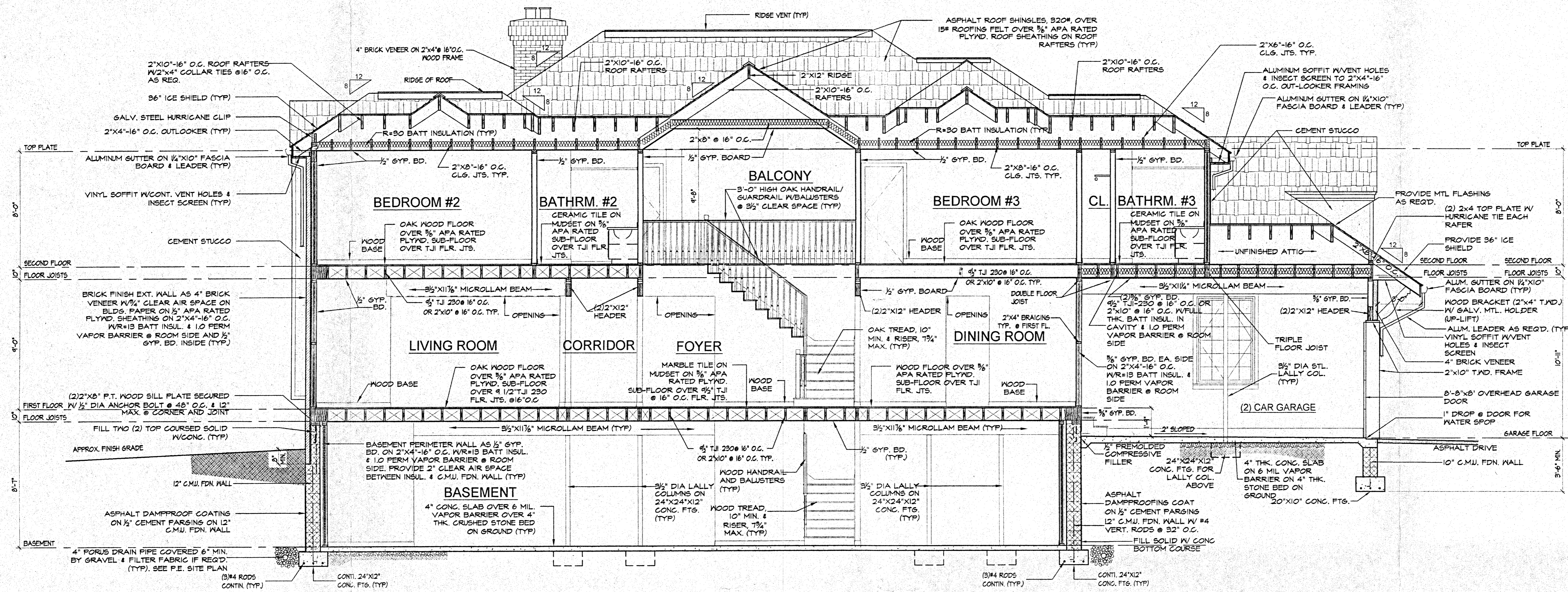
Simon Kim
SIMON KIM, ARCHITECT
 N.J. LICENSE NO. 1468212
 N.Y. LICENSE NO. 016676-1
 412 WHITE OAK DRIVE
 PALISADES, NY 10964

REVISIONS

TITLE: **ROOF PLAN**
 PROJECT: **NEW RESIDENCE FOR Mr. & Mrs. Sang Bae and Won Ja Kim**
 32 REDONSTE AVENUE, DEPARIST, NEW JERSEY
 BLOCK: 14 LOT: 759.02

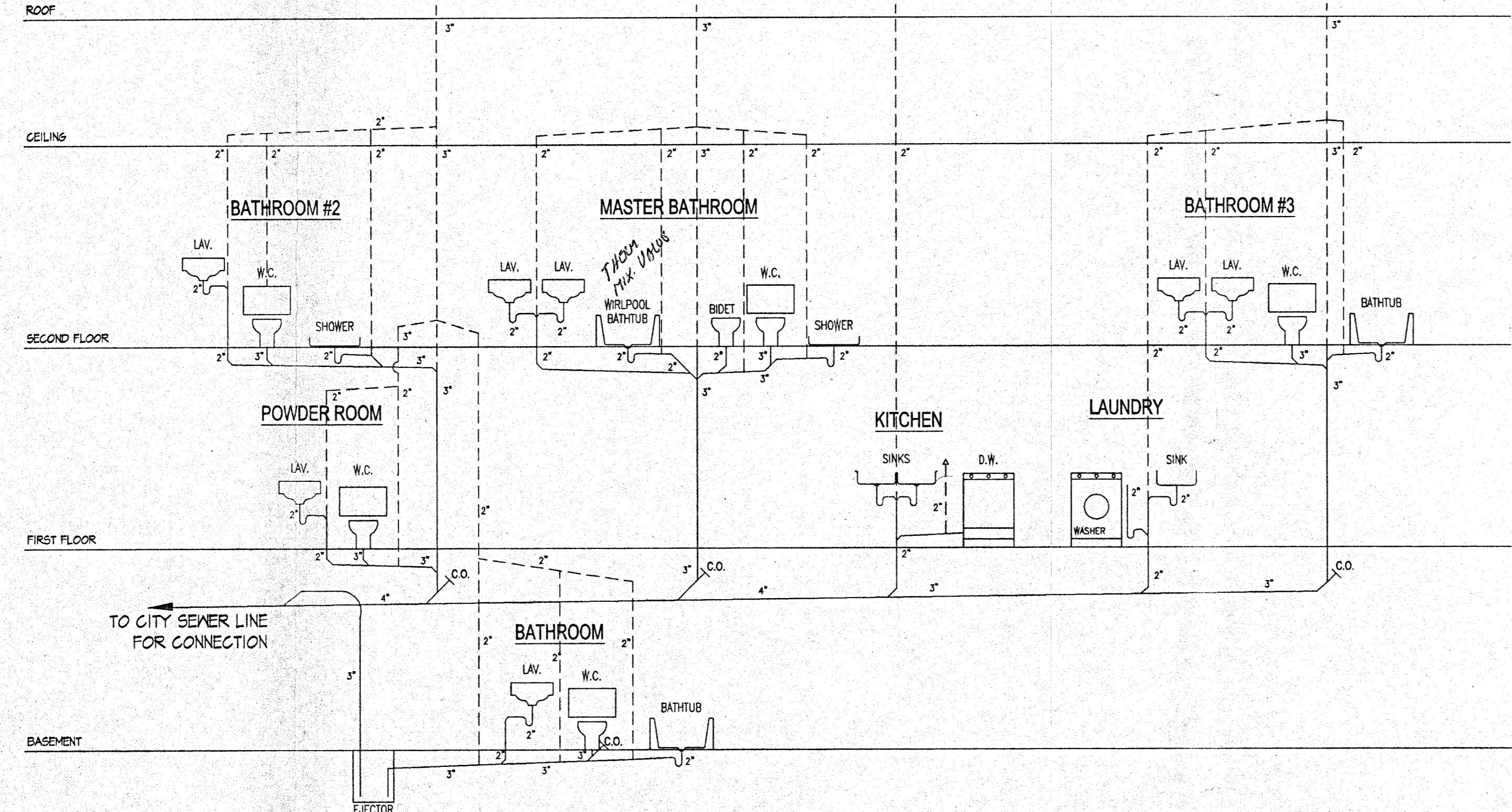
DATE: 06-25-06
 SCALE: AS SHOWN
 JOB NUMBER: 060625
 DWG. NUMBER: A-6

OF 7 SHEETS



BUILDING SECTION 'A'
SCALE: 1/4"=1'-0"

NOTES: PROVIDE DOUBLE FLOOR JOISTS UNDER THE WALLS WHERE FLOOR JOISTS ARE RUNNING PARALLEL AND UNDER POSTS (TYP).



RISER DIAGRAM
SCALE: N.T.S.

GENERAL NOTES

- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COMPLY WITH ALL GOVERNING CODES AND REGULATIONS PERTINENT TO THE CONSTRUCTION OF THE PROJECT.
- ALL CONCRETE SHALL HAVE A STRENGTH OF 3,000 PSI AFTER 28 DAYS.
- SOIL BEARING CAPACITY ASSUMED 2 TONS PER SQ. FT. VIRGIN SOIL OR WELL COMPACTED SOIL.
- ALL CONCRETE FOOTINGS SHALL BE ON VIRGIN SOIL OR WELL COMPACTED SOIL.
- NO BACKFILL SHALL BE PLACED AGAINST FOUNDATIONS UNLESS THEY ARE ADEQUATELY BRACED.
- WALL INSULATION: 3 1/2" FIBERGLASS BATT INSULATION (R=13) WITH FOIL PAPER.
CEILING INSULATION: 10" FIBERGLASS BATT INSULATION (R=30) WITH FOIL PAPER.
FLOOR INSULATION: 10" FIBERGLASS BATT INSULATION (R=30) WITH FOIL PAPER.
- ALLOWABLE UNIT STRESSES FOR STRESS GRADE LUMBER: COMMERCIAL GRADE CONSTRUCTION DOUGLAS FIR OR APPROVED EQUAL.
 - MODULUS OF ELASTICITY: E=1,760,000 PSI
 - EXTREME FIBER IN BENDING: Fb=1,500 PSI - SINGLE MEMBER USES.
 - HORIZONTAL SHEAR: Fv=120 PSI.
 - COMPRESSION PARALLEL TO GRAIN: Fc=1,200 PSI.
- ALL STAIRS HEADROOM SHALL BE MIN. 6'-8" CLEAR.
- MICROLAM LUMBER DESIGN DATA: ALLOWABLE DESIGN STRESSES
 - MODULUS OF ELASTICITY: E=2,000,000 PSI.
 - FLEXURAL STRESS: Fb=2,800 PSI.
 - TENSION PARALLEL TO GRAIN: Ft=1,850 PSI.
 - COMPRESSION PERPENDICULAR TO GRAIN PARALLEL TO GLUE LINE: Fc=500 PSI.
 - COMPRESSION PARALLEL TO GRAIN: Fcd=2,700 PSI.
 - HORIZONTAL SHEAR PERPENDICULAR TO GLUE LINE: Fv=285 PSI.
- ALL WOOD STRUCTURES EXPOSED TO WEATHER AND WET AREA SHALL BE TREATED WOOD.
- OPTIONAL ITEMS: CENTRAL VACUUM SYSTEM, CENTRAL COMMUNICATION SYSTEM, ALARM SYSTEM, CABLE T.V., AND CENTRAL AIR CONDITION SYSTEM (A/C UNITS AND METAL DUCTS), METAL & GLASS DOOR AT FIREPLACE.
- ALL DIMENSIONS AND STRUCTURES CONDITION TO BE VERIFIED BY CONTRACTOR IN FIELD AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.
- ALL CONCRETE MASONRY BLOCK (C.M.U.) SHALL BE HOLLOW GRADE "A" (LOAD BEARING C.M.U. SHALL CONFORM TO ASTM C-90).

REVISIONS

SIMON KIM, ARCHITECT
N.J. LICENSE NO. A08212
N.Y. LICENSE NO. 016676-1
412 WHITE OAK DRIVE
PALISADES, NY 10964

BUILDING SECTION AND GENERAL NOTES

NEW RESIDENCE
FOR Mr. & Mrs. Sang Bae and Won Ja Kim
2800 WISSE AVENUE, BERKELEY, NEW JERSEY
BLOCK: 14 LOT: 7302C

DATE: 06-25-06
SCALE: AS SHOWN
DRAWN BY: JF
CHECKED BY: SK

JOB NUMBER: 060625
DWG. NUMBER: A-7
OF 7 SHEETS

PROPERTY OWNERS WITHIN 200' RADIUS

BLOCK	LOT	QUAL.	CLASS.	PROPERTY OWNER	PROPERTY LOCATION	ASPT#	Lot#
21	771		2	J. HALL, COL. F. & ALISON L. HANSEN	41 STELFOX STREET		
21	785		2	EMANUEL, CHARLES & JEANETTE	65 SERPENTINE RD		
21	810		2	LOPEZ, RAFAEL & JEANNE H.	30 STELFOX ST		
15	890		2	BENNETT, ADAM & JOEL	77 SERPENTINE RD		
15	888		1	KINLIN, JAMES W & ROSEMARY	26 STELFOX ST		
15	884		2	KINLIN, JAMES W & ROSEMARY A	26 STELFOX ST		
14	759.02		2	CANTATONI, ANDREA & JANE	32 BROOKSIDE AVE		1 LOT
14	753.01		2	YIOLE, PHILLIP	26 BROOKSIDE AVE		1 LOT
14	748		2	YIOLE, PHILLIP	22 BROOKSIDE AVE		
14	828		2	IBROKOVICH, ROSE & LUCAS, JAMES R	19 STELFOX ST		
14	824.01		2	SODERMAN (STELLER), STEVEN	23 STELFOX ST		1 LOT
14	819		2	WOLF, ANDREW	27 STELFOX ST		
14	759.01		2	BEDISCH, PHILIP & HANCI 1	71 SERPENTINE RD		L760.01-764.01, 10LTS
10	694		2	STRANO, JIND & ROSENA	41 BROOKSIDE AVE		
10	700		2	STRANO, FRANK L. & KATHLEEN	37 BROOKSIDE AVE		L1 702, 2 L18
10	703		2	BALLET, BRIAN E. & YOUNG, K.	33 BROOKSIDE AVE		
10	708		2	KARAGOSIAN, PAUL J. & JEAN M.	29 BROOKSIDE AVE		
10	712		2	ROSE, LAM & PERSI, V & S	25 BROOKSIDE AVE		
10	717		2	BARBERO, MICHELLE J. & NICHELE	21 BROOKSIDE AVE		
10	633		2	O'DONNELL, LORRETTA F.	10 DRIURY LA		
10	637		2	DOLLING, DANIEL & ELISSA JACQUE	14 DRIURY LA		
10	642		2	STEIN, JEFFERY & SALLIE	18 DRIURY LA		
10	648		2	RICCOLI, ARNALDO & STEPHANIE	22 DRIURY LA		

* Public Utilities	
Bell Atlantic 540 Broad Street Newark, NJ 07101 Attn: Corporate Secretary	Public Service Electric & Gas 80 Park Plaza Newark, NJ 07101 Attn: Corporate TGB Properties
Rockland Electric Company One Blue Hill Plaza Pearl River, NY 10965 Attn: Corporate Secretary	CableVision of New Jersey 5 Legion Drive Cresskill, NJ 07626 Attn: General Manager
United Water Company 200 Old Hook Road Harrington Park, NJ 07640 Attn: Corporate Secretary	Bergen County Utilities Authority Foot of Marhof Road Box No. 122 Little Ferry, NJ 07643
Orange & Rockland Utilities, Inc. Rockland Electric Company Pike County Light & Power 75 West Route 59 Spring Valley, NY 10977	County of Bergen One Bergen County Plaza Hackensack, NJ 07601

APPROVED BY THE BOARD OF ADJUSTMENT OF THE BOROUGH OF DEMAREST _____ 2008

CHAIRMAN _____

SECRETARY _____

APPROVED BY THE BOROUGH ENGINEER OF THE BOROUGH OF DEMAREST _____ 2008

BOROUGH ENGINEER _____

BLDG. COVERAGE CALC'S

DWELLING = 1,953 S.F.
COVERED PORCH = 37 S.F.
1,990 S.F. S.F./10,004.81 S.F.=19.89%

IMP. COVERAGE CALC'S

BLDG. COVERAGE = 1,990 S.F.
STEPS & WALK PATIO = 212 S.F.
= 87 S.F.
2,209 S.F./10,004.81 S.F.=22.88%

AVG. FRONT YARD SETBACK

#26 BROOKSIDE 32.96 FT.
#22 BROOKSIDE 34.22 FT.
#20 BROOKSIDE 37.17 FT.
34.78 FT.

LIVABLE FLOOR AREA CALC'S

1ST FLOOR = 1,512 S.F.
2ND FLOOR = 1,476 S.F.
2,988 S.F./10,004.81 S.F.=29.87%

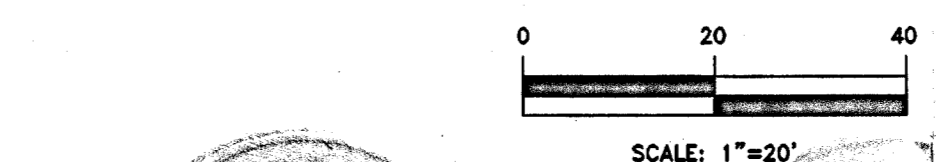
REFERENCES

1) A CERTAIN MAP ENTITLED, "FINAL SUBDIVISION PLAT, STELFOX STREET SUBDIVISION, BOROUGH OF DEMAREST, BERGEN COUNTY, NEW JERSEY" FILED IN THE BCCO ON JUNE 4, 1999 AS MAP No. 9128.

2) BOROUGH OF DEMAREST TAX MAPS.

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC. NO. 37206
DATE 6-21-06

MICHAEL S. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497
N.J.P.P. NO. 3200
DATE 6-21-06



HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE. BERGENFIELD, NJ 07621
201-384-5666

NO.	REVISIONS	DATE	BY	CHKD
2	MODIFY DRIVEWAY	11-22-06	A.J.	M.J.H.
1	MODIFY DWELLING	9-1-06	A.J.	M.J.H.

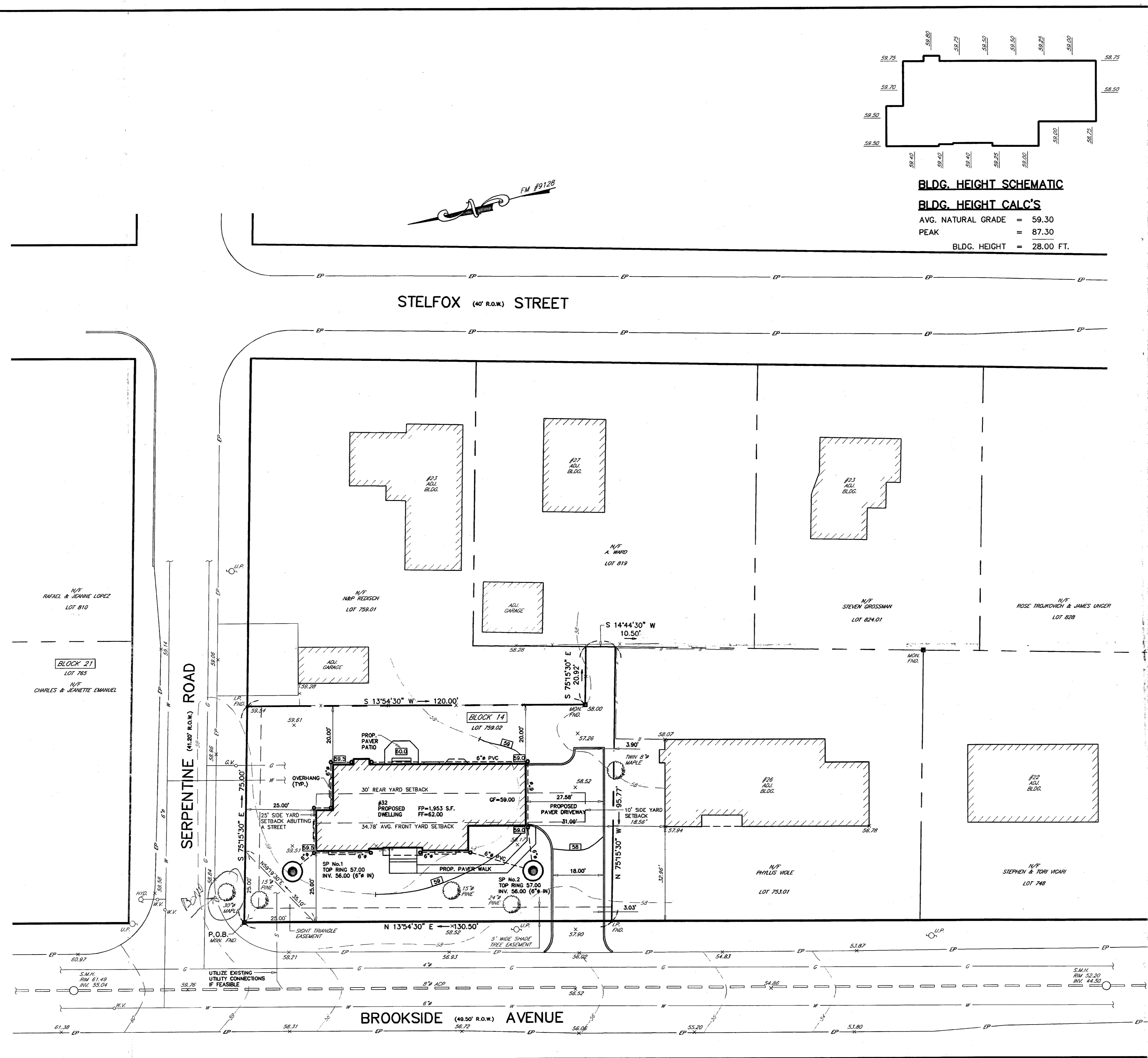
SITE PLAN

LOT 759.02 PROPOSED DWELLING #32 BROOKSIDE AVENUE BLOCK 14

BOROUGH OF DEMAREST BERGEN COUNTY NEW JERSEY

APPLICANT: MR. SANG BAE KIM
92 FOREST STREET
CLOSTER, NEW JERSEY
07624

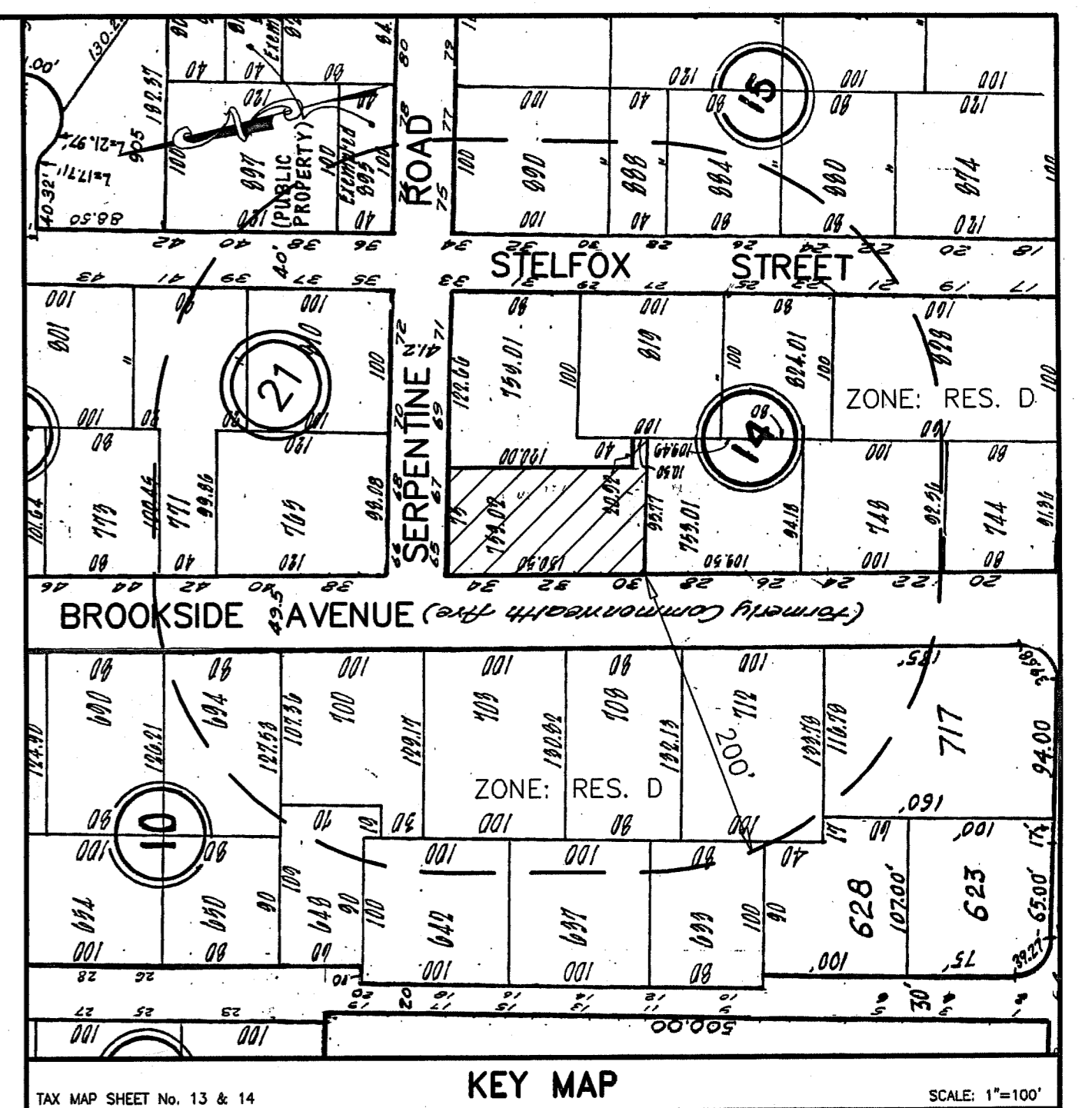
DRAWN BY: A.J.
CHKD BY: M.J.H.
SCALE: 1"=20'
DRAWING NO. 2237-1
REV. 2
1 OF 2



BLDG. HEIGHT SCHEMATIC

BLDG. HEIGHT CALC'S

AVG. NATURAL GRADE = 59.30
PEAK = 87.30
BLDG. HEIGHT = 28.00 FT.



ZONING NOTES

ZONE: RESIDENCE D

	REQUIRED	PROVIDED
MIN. LOT AREA	10,000 S.F.	10,004.81 S.F.
MIN. FRONTAGE	100 FT.	130.50 FT.
MIN. LOT DEPTH	100 FT.	75.00 FT.(1)
MIN. FRONT YARD (AVG.) (BROOKSIDE AVE.)	34.78 FT.	25.00 FT.*
MIN. SIDE YARD (STREET)	25 FT.	25.00 FT.
MIN. SIDE YARD	10 FT.	31.09 FT.
MIN. REAR YARD	30 FT.	20.00 FT.*
MAX. BLDG. COVERAGE	20%	19.89%
MAX. IMP. COVERAGE	30%	22.88%
MAX. LIVABLE FLOOR AREA	30%	29.87%
MAX. NO. OF FAMILIES	1	1
MAX. BLDG. HEIGHT	30 FT.	28.00 FT.
MAX. WALL HEIGHT	2 FT.	N/A

*VARIANCE REQUIRED
(1) EXISTING, NON-CONFORMING CONDITION

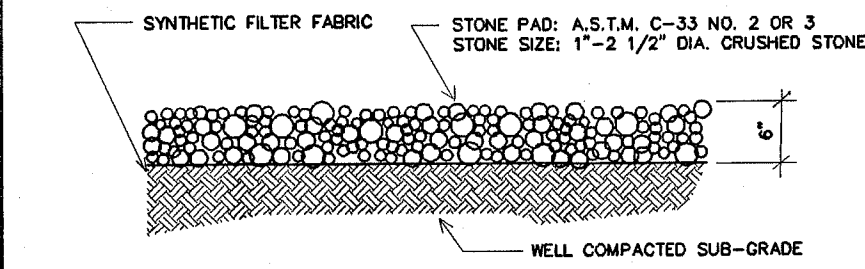
- GENERAL NOTES**
- TOTAL LOT AREA = 10,004.81 S.F. = 0.229 ACRES.
 - ELEVATION BASED ON NGVD 1929
 - LOCATION OF UTILITIES BASED ON FIELD MARKOUT BY UTILITY COMPANIES
 - CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
 - ALL DAMAGED CURB AND STREETS TO BE REPAIRED BY CONTRACTOR TO BOROUGH STANDARDS
 - STREET TO BE CLEANED EVERYDAY IF NECESSARY.
 - ⊗ DENOTES TREES TO BE REMOVED
 - INSTALL CLEANOUTS AT ALL BENDS IN ROOF DRAINS.
 - TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION, NO SOIL MOVEMENT AND/OR STOCKPILING OF MATERIAL AND NO OPERATION OF CONSTRUCTION VEHICLES IS PERMITTED WITHIN TEN FEET OF SAID TREES.
 - THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (1:12) FOR A MINIMUM DISTANCE OF 8 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. THE PROCEDURE UTILIZED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ALL ADDITIONAL SETTLEMENT OF THE BACKFILL.
 - MINIMUM ROOF DRAIN SLOPES: 6" = 1.10%
4" = 2.20%
 - EXISTING IMPERVIOUS COVERAGE = 1,897 S.F.
PROPOSED IMPERVIOUS COVERAGE = 2,289 S.F.
TOTAL INCREASE = 3,92 S.F.

SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

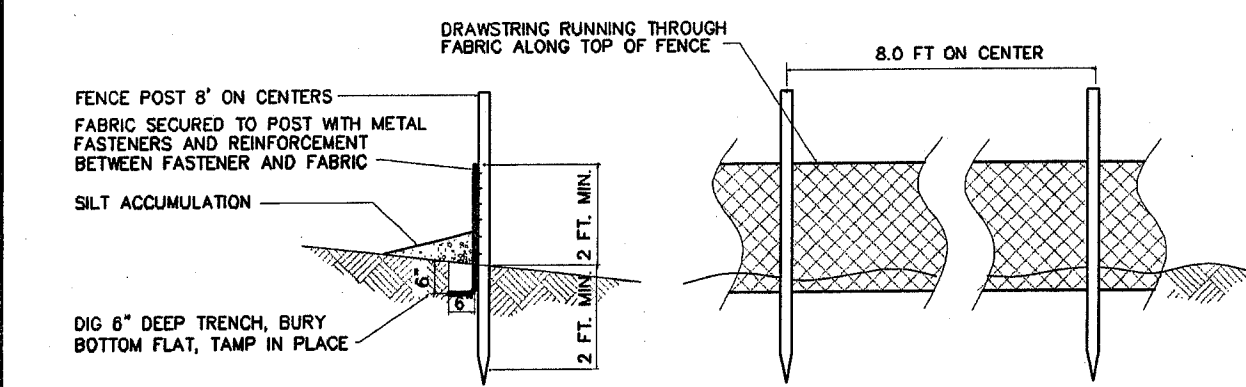
1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY (NJ STANDARDS), AND WILL BE INSTALLED IN PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT STABILIZATION IS ESTABLISHED.
2. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND MULCHING. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREA WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND BOUND IN ACCORDANCE WITH THE NJ STANDARDS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
3. IMMEDIATELY FOLLOWING INITIAL DISTURBANCE OR ROUGH GRADING, ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NJ STANDARDS.
4. STABILIZATION SPECIFICATIONS:
 - A. TEMPORARY SEEDING AND MULCHING:
 - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED- PERENNIAL RYEGRASS 40 LBS./ACRE (1 LB./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
 - MULCH- SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
 - B. PERMANENT SEEDING AND MULCHING:
 - TOPSOIL - UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED).
 - LIME - 90 LBS./1,000 SF GROUND LIMESTONE; FERTILIZER - 11 LBS./1,000 SF, 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL A MINIMUM OF 4".
 - SEED - TURF TYPE TALL FESCUE (BLEND OF 3 CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEEDS; PLANT BETWEEN MARCH 1 AND OCTOBER 15.
 - MULCH - SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NJ STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER).
5. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
6. SOIL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS, INCLUDING AFTER EVERY STORM EVENT.
7. STOCKPILES ARE NOT TO BE LOCATED WITHIN 50' OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHALL BE CONTAINED BY A HAYBALE SEDIMENT BARRIER OR SILT FENCE.
8. A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS ROAD INTERSECTS ANY PAVED ROADWAY. SAID BLANKET WILL BE COMPOSED OF 1" - 2-1/2" CRUSHED STONE, 6" THICK, WILL BE AT LEAST 30' X 100' AND SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC SEDIMENT FILTER FABRIC AND MAINTAINED.
9. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT EXCEED 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
10. DRIVEWAYS MUST BE STABILIZED WITH 1" - 2-1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
11. ALL SOIL, WASHED, DROPPED, SPILLED OR TRACKED OUTSIDE THE LIMIT OF DISTURBANCE OR ONTO PUBLIC RIGHT-OF-WAYS, WILL BE REMOVED IMMEDIATELY. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
12. CATCH BASIN INLETS WILL BE PROTECTED WITH AN INLET FILTER DESIGNED IN ACCORDANCE WITH SECTION 30-2 OF THE NJ STANDARDS.
13. STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
14. DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT CONTROL BAG OR OTHER APPROVED FILTER IN ACCORDANCE WITH SECTION 14-1 OF THE NJ STANDARDS.
15. DUST SHALL BE CONTROLLED VIA THE APPLICATION OF WATER, CALCIUM CHLORIDE OR OTHER APPROVED METHOD IN ACCORDANCE WITH SECTION 16-1 OF THE NJ STANDARDS.
16. TREES TO REMAIN AFTER CONSTRUCTION ARE TO BE PROTECTED WITH A SUITABLE FENCE INSTALLED AT THE DRIP LINE OR BEYOND IN ACCORDANCE WITH SECTION 9-1 OF THE NJ STANDARDS.
17. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR ANY EROSION OR SEDIMENTATION THAT MAY OCCUR BELOW STORMWATER OUTFALLS OR OFF-SITE AS A RESULT OF CONSTRUCTION OF THE PROJECT.

SEQUENCE OF CONSTRUCTION

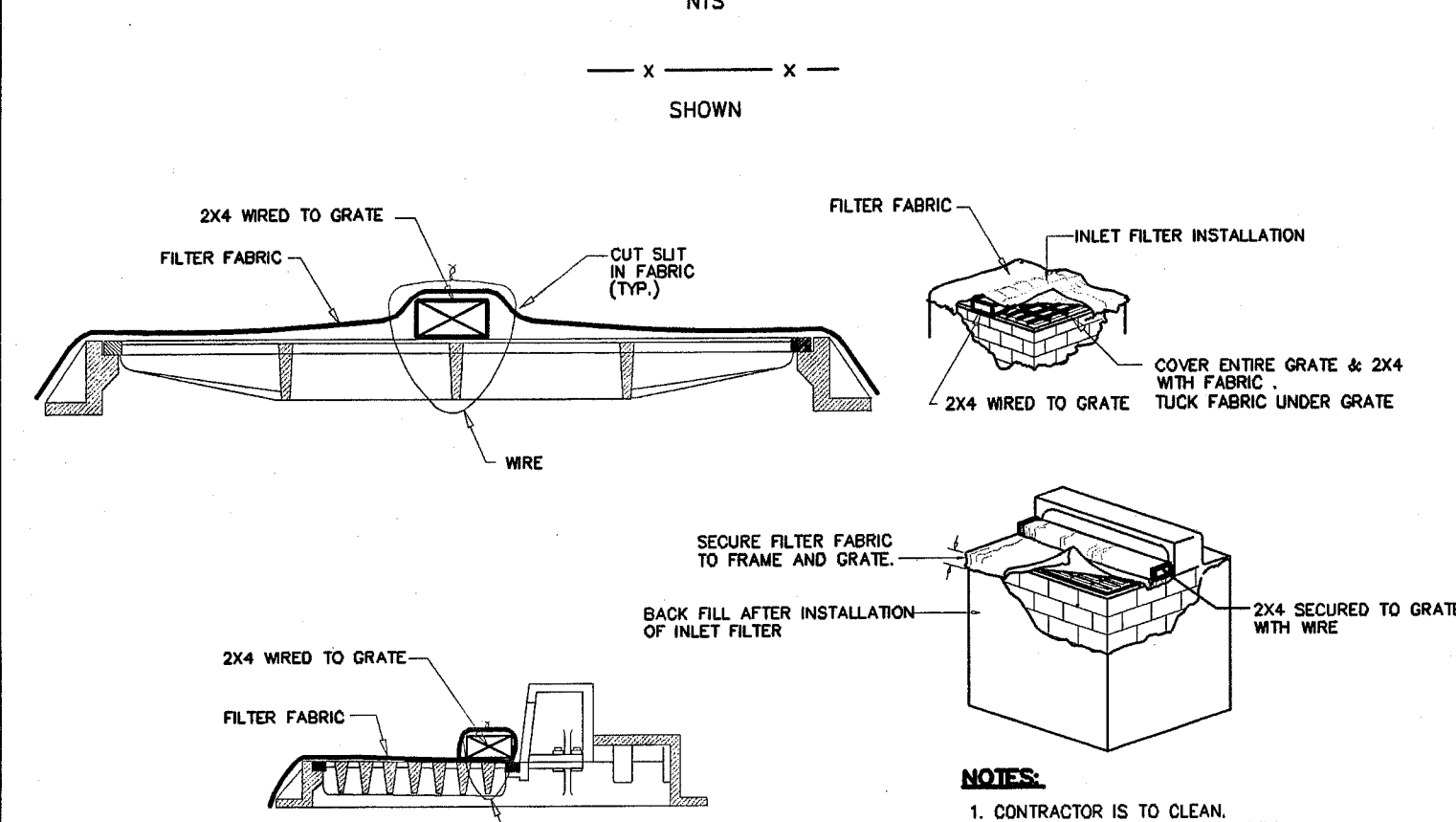
1. INSTALL 25'X20' TRACKING BED AT CONSTRUCTION ENTRANCE
2. INSTALL SILT FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION
3. PROVIDE ROUGH GRADING FOR SITE
4. EXCAVATE FOR NEW DWELLING, DRIVE, AND UTILITIES
5. CONSTRUCT NEW BUILDING, PROVIDE PAVEMENT BASE COURSE ON DRIVE
6. PROVIDE FINAL GRADING, TOPSOIL REPLACEMENT, AND LANDSCAPING
7. PROVIDE FINAL PAINTING
8. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL SERVICE.



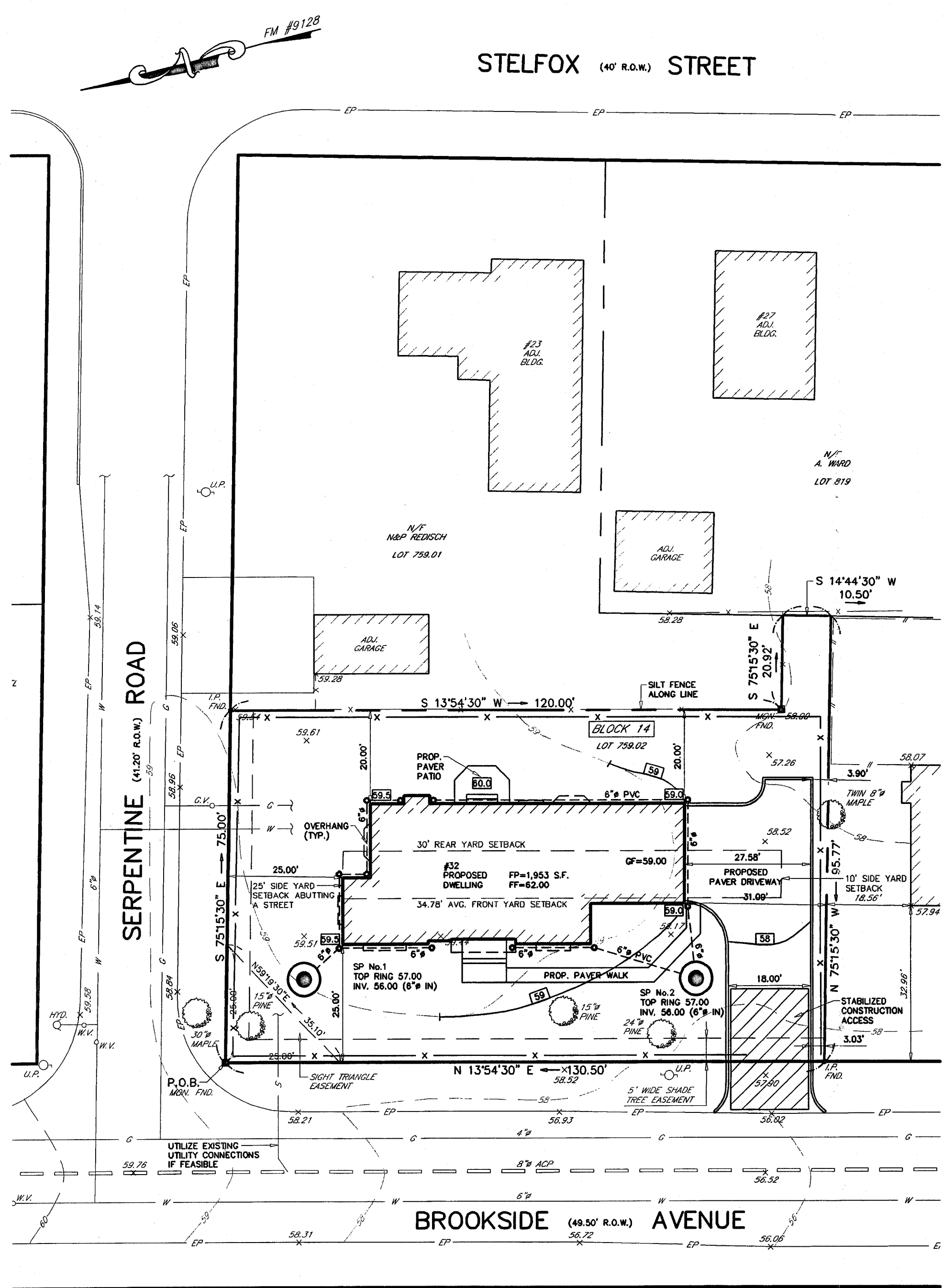
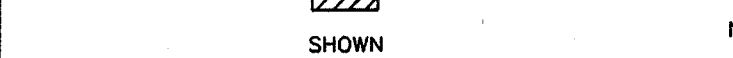
STABILIZED CONSTRUCTION ACCESS



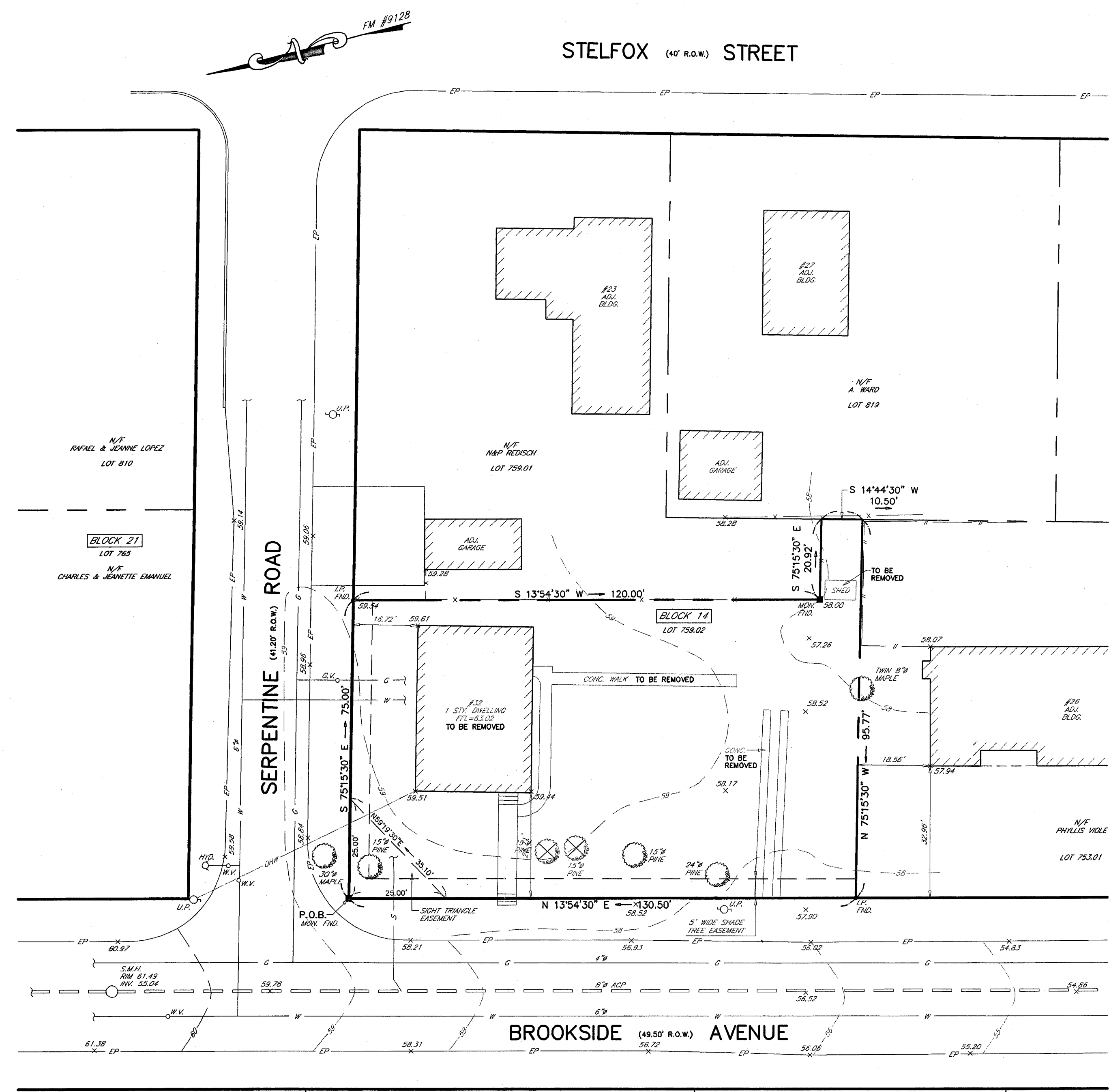
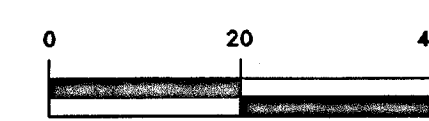
SILT FENCE CONSTRUCTION AND INSTALLATION DETAIL



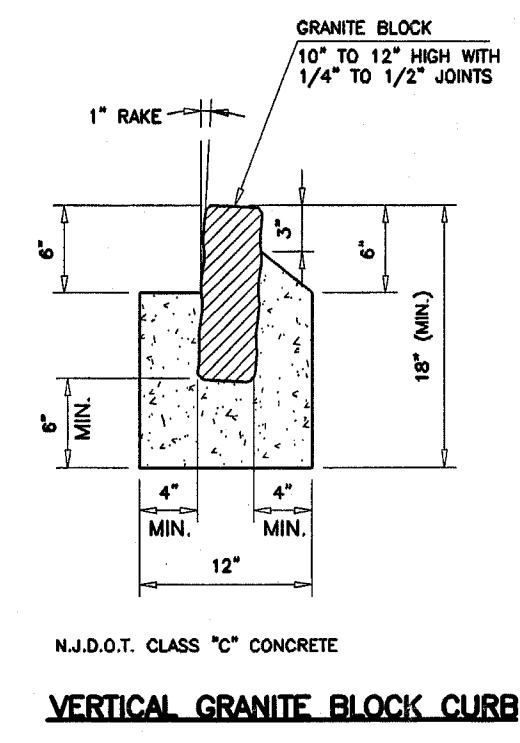
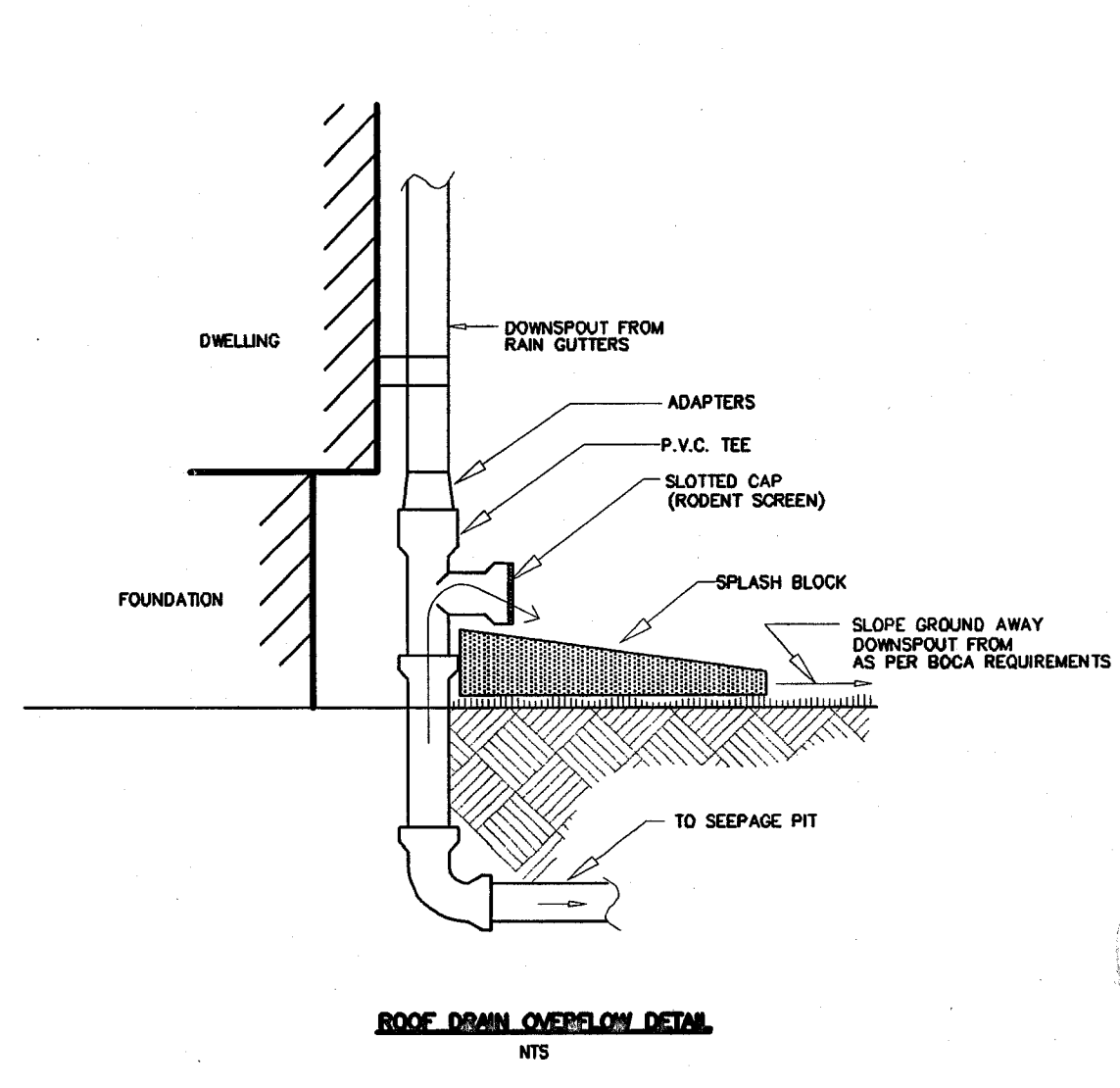
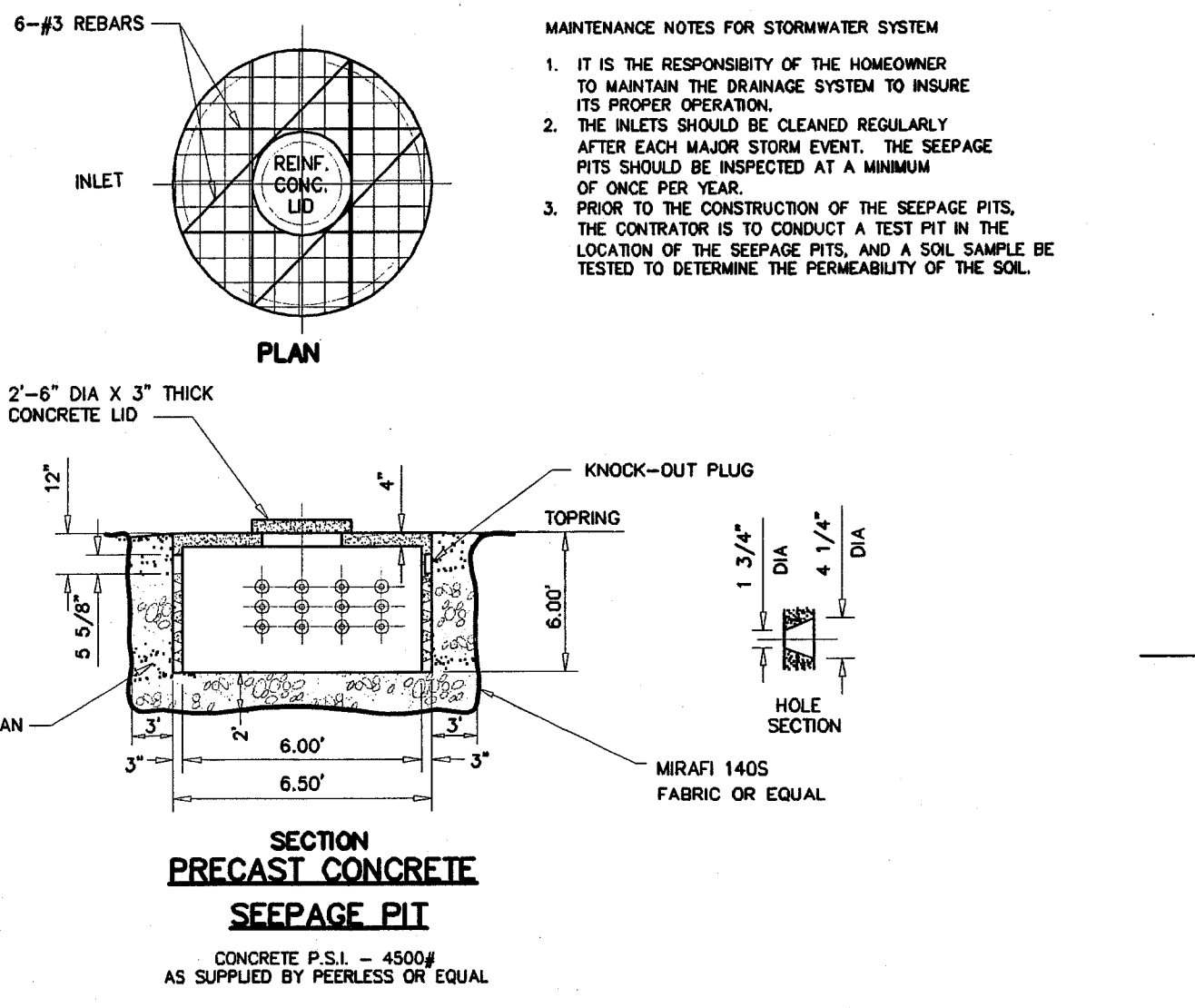
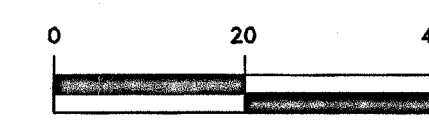
STORM SEWER INLET PROTECTION



SOIL EROSION & SEDIMENT CONTROL PLAN



EXISTING CONDITIONS PLAN



ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J. LIC No. 37206
6-21-06

MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. No. 29497
N.J.P.P. No. 3200
6-21-06

NO.	REVISIONS	DATE	BY	CHKD
2	MODIFY DRIVEWAY	11-22-06	A.J.	M.J.H.
1	MODIFY DWELLING	9-1-06	A.J.	M.J.H.

SOIL EROSION & SEDIMENT CONTROL PLAN; EXISTING CONDITIONS PLAN; DETAILS

LOT 759.02 PROPOSED DWELLING #32 BROOKSIDE AVENUE BLOCK 14
BOROUGH OF DEWAREST BERGEN COUNTY NEW JERSEY
APPLICANT: MR. SANG BAE KIM
92 FOREST STREET
CLOSTER, NEW JERSEY 07624

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666
DRAWN BY: A.J.
CHKD BY: M.J.H.
SCALE: AS NOTED
DRAWING NO. 2237-2
REV. 2
2 OF 2