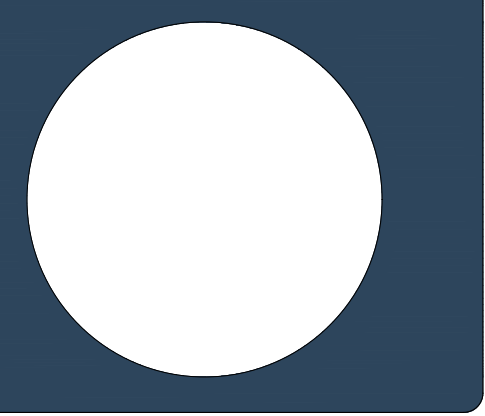


VARIANCE APPLICATION

SINGLE-FAMILY RESIDENTIAL ADDITION

8 GLENWOOD AVENUE
 BOROUGH OF DEMAREST, BERGEN COUNTY, NEW JERSEY
 BLOCK: 121; LOT: 7; TAX MAP: 16
 ZONE: R-D (SINGLE-FAMILY RESIDENCE D)



Michael E. Dipple
 3/16/2026

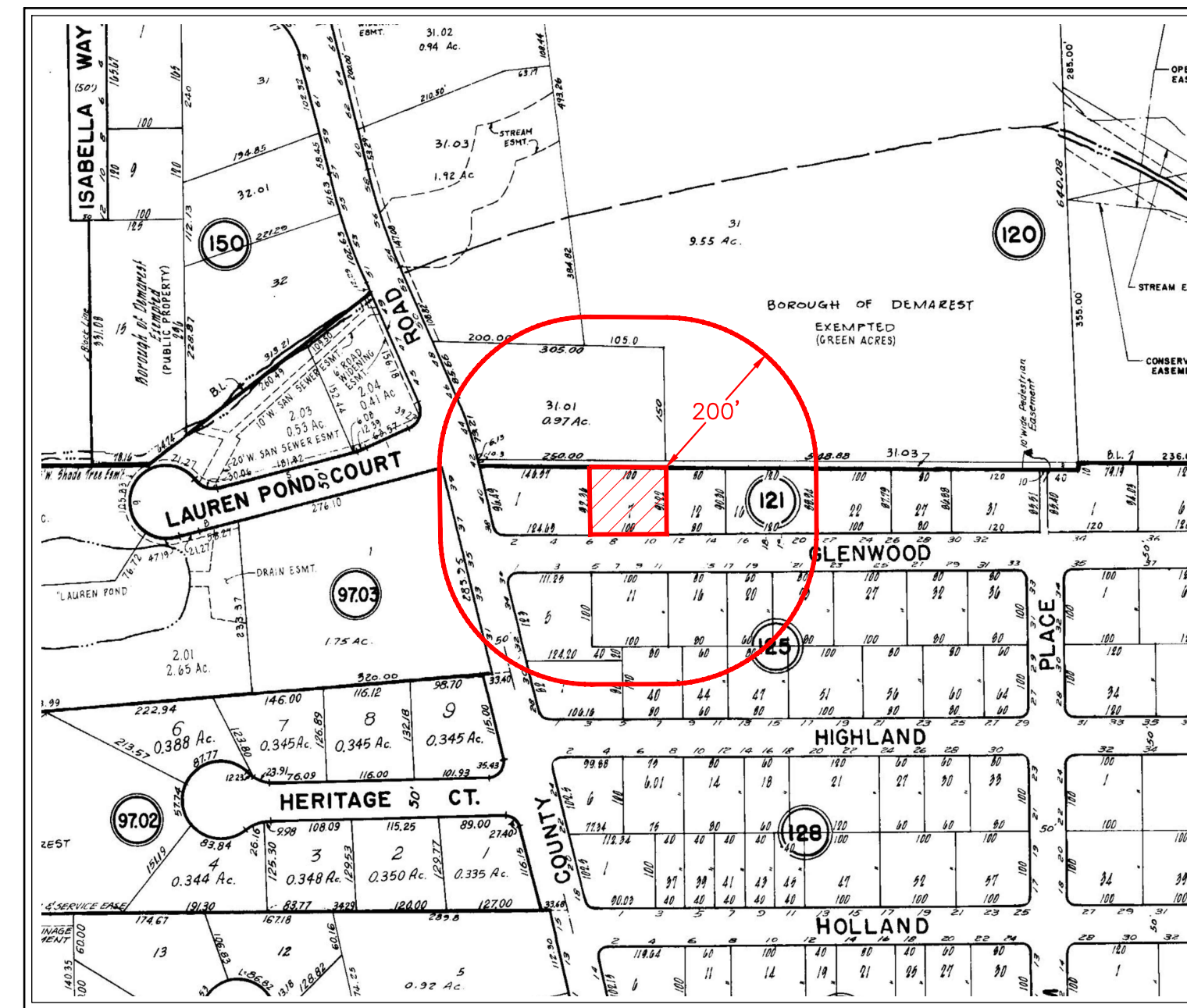
Michael E. Dipple, P.E. Date
 New Jersey Professional Engineer #24GE04081200

APPLICANT/OWNER:
 MARTIN & BARBARA VITALE
 8 GLENWOOD AVENUE
 DEMAREST, NEW JERSEY 07627
 201.424.7944

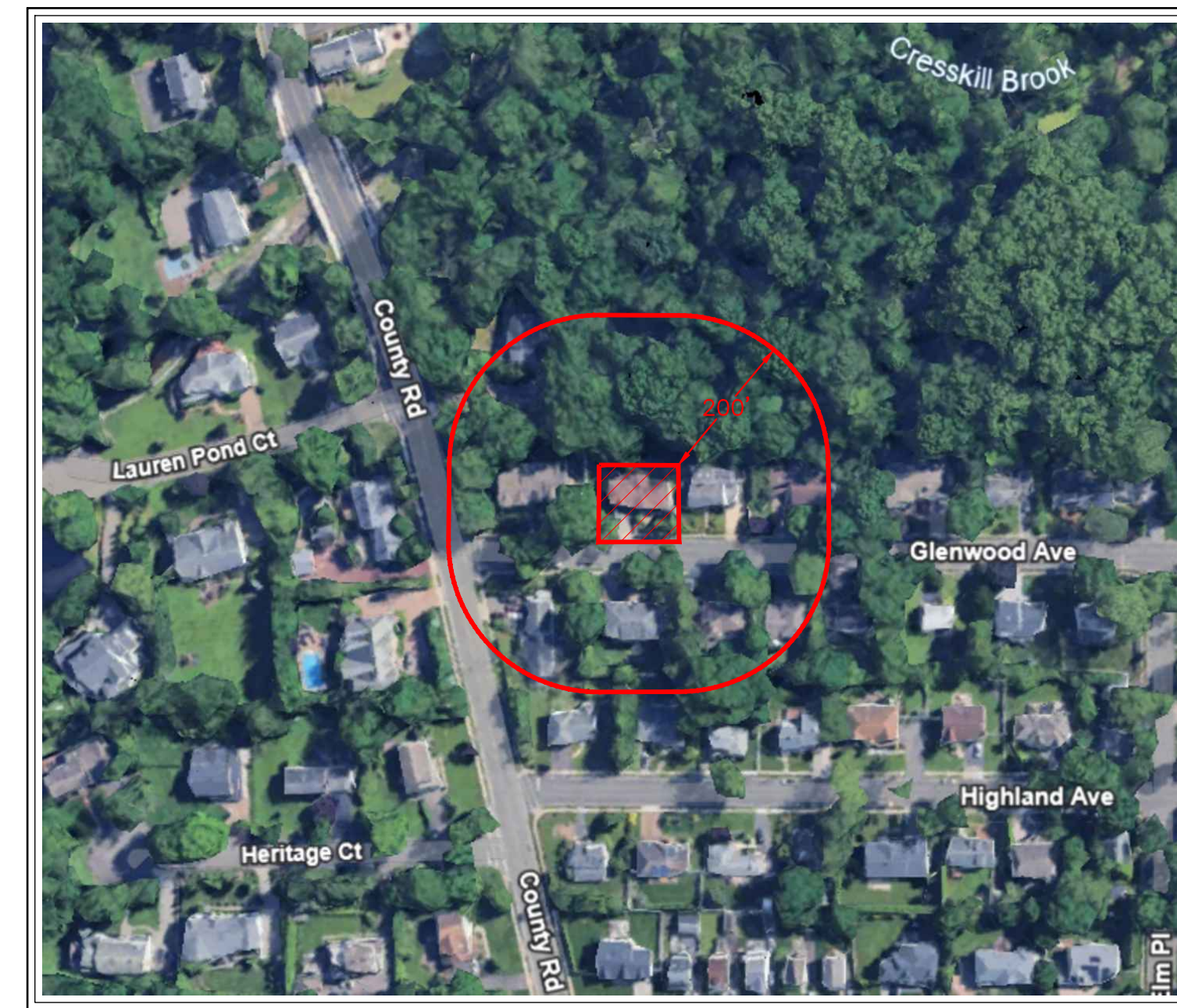
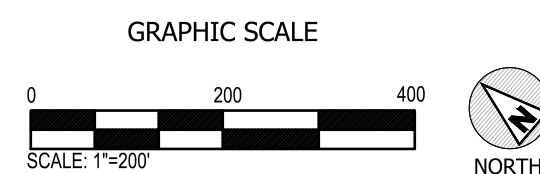
ARCHITECT:
 JOSE CARBALLO ARCHITECTURE P.C.
 171 MAIN STREET, SUITE 301
 HACKENSACK, NEW JERSEY 07601
 201.678.1201

SURVEYOR:
 EID ASSOCIATES, INC
 102 WAYSIDE ROAD
 HEWITT, NJ 07421
 201.264.2312

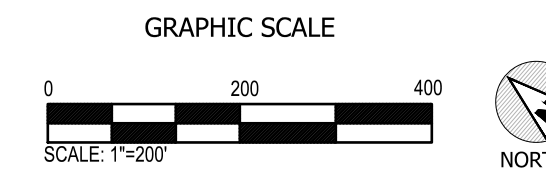
NO.	DATE	REVISION
1	12/18/25	REVISED ARCHITECTURE
2	3/16/26	REDUCED BUILDING ADDITION



TAX & ZONING MAP



KEY MAP



DRAWING INDEX

NO.	DRAWING TITLE
C-01	COVER SHEET
C-02	EXISTING CONDITIONS & DEMOLITION PLAN
C-03	SITE PLAN
C-04	GRADING, DRAINAGE, & UTILITY PLAN
C-05	DETAILS

ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED BY THE ZONING BOARD OF ADJUSTMENT OF THE BOROUGH OF DEMAREST, COUNTY OF BERGEN, STATE OF NEW JERSEY ON RESOLUTION _____ BY RESOLUTION _____ FOR 8 GLENWOOD AVENUE, BERGEN COUNTY, NJ, BLOCK 121, LOT 7

CHAIRPERSON	DATE
SECRETARY OF BOARD	DATE
BOROUGH ENGINEER	DATE

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:

BOROUGH OF DEMAREST BLOCK 97.03, LOT 1.01 PEDROI, BANC 35 COUNTY ROAD DEMAREST, NJ 07627	BLOCK 120, LOT 31.03 KING, SEAN & CASTROGONZALEZ, DALIA S 60 COUNTY ROAD DEMAREST, NJ 07627	BLOCK 121, LOT 22 MCCARTHY (ETALS), JAMES R 24 GLENWOOD DEMAREST, NJ 07627	BLOCK 125, LOT 16 OK, SUBU, & HYANGWOO 15 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 44 WANDERLINGH, JOAN P TRSTE 9 HIGHLAND AVE DEMAREST, NJ 07627
BLOCK 97.03, LOT 1.02 BP REALTY INC 31 COUNTY ROAD DEMAREST, NJ 07627	BLOCK 121, LOT 1 SLOWIKOWSKI, ROBERT & ANDREA 2 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 1 SONG-KWAK, SOYEON 1 HIGHLAND AVE DEMAREST, NJ 07627	BLOCK 125, LOT 20 CHUNG, SUN M (ETALS) 19 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 47 KIM, MYUNGHOON & SURYEON 15 HIGHLAND AVENUE DEMAREST, NJ 07627
BLOCK 120, LOT 31 BOROUGH OF DEMAREST 118 SERPENTINE ROAD DEMAREST, NJ 07627	BLOCK 121, LOT 12 DUBBIOSI, STELO 12 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 5 QUINN, TIMOTHY DS GINAMARIE 34 COUNTY ROAD DEMAREST, NJ 07627	BLOCK 125, LOT 23 PAK, DAVID & HAI KYUNG 28 CENTRAL AVENUE DEMAREST, NJ 07627	
BLOCK 120, LOT 31.01 GABRIEL, JR, JUAN & CONNIE 46 COUNTY ROAD DEMAREST, NJ 07627	BLOCK 121, LOT 16 BRODY, RUTH E TRISTES/ETAL 20 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 11 GLASS, LESLIE & ROBERTA 5 GLENWOOD AVE DEMAREST, NJ 07627	BLOCK 125, LOT 40 BACK, SUNGCHUL, SEAN & JUNG EUN 8 CHRISTIE STREET DEMAREST, NJ 07627	

PUBLIC UTILITIES

VERIZON NEW JERSEY PO BOX 16801 NEWARK, NJ 07101 ATTN: CORPORATE SECRETARY	PUBLIC SERVICE ELECTRIC & GAS PO BOX 14444 NEW BRUNSWICK, NJ 08906
VEOLIA (SUEZ) WATER NEW JERSEY PO BOX 371804 PITTSBURGH, PA 15250	BERGEN COUNTY UTILITIES AUTHORITY FOOT OF MERHOF ROAD BOX NO. 9 LITTLE FERRY, NJ 07643
ORANGE & ROCKLAND UTILITIES INC. ROCKLAND ELECTRIC COMPANY PO BOX 1009 SPRING VALLEY, NY 10977	BERGEN COUNTY PLANNING BOARD COUNTY OF BERGEN ONE BERGEN COUNTY PLAZA HACKENSACK, NJ 07601

ACRONYMS

ADA APPROX	AMERICAN DISABILITIES ACT	LF	LINEAR FEET
BC	APPROXIMATE	LP	LOW POINT
BW	BOTTOM OF CURB REVEAL	MH	MANHOLE
COMM	BOTTOM WALL (GRADE)	NIC	NOT IN CONTRACT
CLF	DATA/COMMUNICATION CABLE	OH	OVERHEAD
C.O.	CHAIN LINK FENCE	PC	POINT OF CURVE
CONC	CLEAN OUT	PROP	PROPOSED
DEP	CONCRETE	PT	POINT OF TANGENT
DIP	DEPRESSED CURB	PVC	POLYVINYL CHLORIDE PIPE
DMH	DUCTILE IRON PIPE	RCP	REINFORCED CONCRETE PIPE
E	STORM MANHOLE	SCD	SOIL CONSERVATION DISTRICT
ELEV	ELECTRIC	SMH	SANITARY MANHOLE
EX	ELEVATION (FT.)	ST	STORM SEWER PIPE
FDC	EXISTING	SAN	SANITARY SEWER PIPE
FO	FIRE DEPT. CONNECTION	TEL	TELEPHONE
FEE	FIBER OPTIC CABLE	TC	TOP OF CURB
G	FINISHED FLOOR ELEVATION	TP	TEST PIT
GRT	GAS PIPE LONE	TRANSF	TRANSFORMER
GV	GRATE (ELEVATION)	TW	TOP OF WALL
HDPE	GAS VALVE	TYP	TYPICAL
HP	POLYETHYLENE PIPE	UG	UNDERGROUND
HYD	HIGH POINT	UP	UTILITY POLE
INV	FIRE HYDRANT	V.I.F.	VERIFY IN FIELD
	INVERT (ELEVATION)	W	WATER
		WW	WATER VALVE

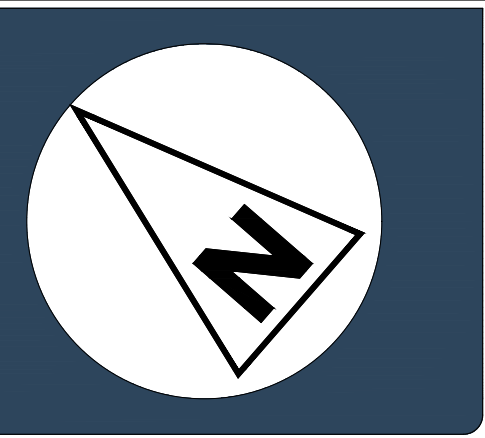
PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION

8 GLENWOOD AVENUE
 BOROUGH OF DEMAREST
 BERGEN COUNTY, NEW JERSEY, 07627
 BLOCK: 121, LOT: 7
 TAX MAP: 16

DRAWING TITLE:
COVER SHEET

SCALE:	REFER TO DRAWING
ORIG. DATE:	9/19/2025
DESIGNED:	DJA
APPROVED:	MED
L2A PROJ. No.:	2501.183
DRAWING No.:	

C-01



Michael E. Dipple

Michael E. Dipple, P.E. Date: 3/16/2026
 New Jersey Professional Engineer #24GE04081200

APPLICANT/OWNER:
 MARTIN & BARBARA VITALE
 8 GLENWOOD AVENUE
 DEMAREST, NEW JERSEY 07627
 201.424.7944

ARCHITECT:
 JOSE CARBALLO ARCHITECTURE P.C.
 171 MAIN STREET, SUITE 301
 HACKENSACK, NEW JERSEY 07601
 201.678.1201

SURVEYOR:
 EID ASSOCIATES, INC
 102 WAYSIDE ROAD
 HEWITT, NJ 07421
 201.264.2312

NO.	DATE	REVISION
1	12/8/25	REVISED ARCHITECTURE
2	3/16/26	REDUCED BUILDING ADDITION

PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
 8 GLENWOOD AVENUE
 BOROUGH OF DEMAREST
 BERGEN COUNTY, NEW JERSEY, 07627
 BLOCK: 121, LOT: 7
 TAX MAP: 16

DRAWING TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

SCALE: REFER TO DRAWING
ORIG. DATE: 9/19/2025
DESIGNED: DJA
APPROVED: MED
L2A PROJ. No.: 2501.183
DRAWING No.: C-02

PROJECT REFERENCES

- THIS PROJECT REFERENCES THE FOLLOWING SURVEY:
 STEPHEN P. EID NJ. P.E. & L.S. (N.J. LIC. NO. 30081)
 EID ASSOCIATES, INC
 102 WAYSIDE ROAD, HEWITT, NJ 07421
 201.264.2312 (PHONE)
 PROJECT NUMBER: 25-121, DATED: 05/23/2025
- VERTICAL ELEVATIONS SHOWN ON THESE PLANS REFER TO THE NAVD 1988

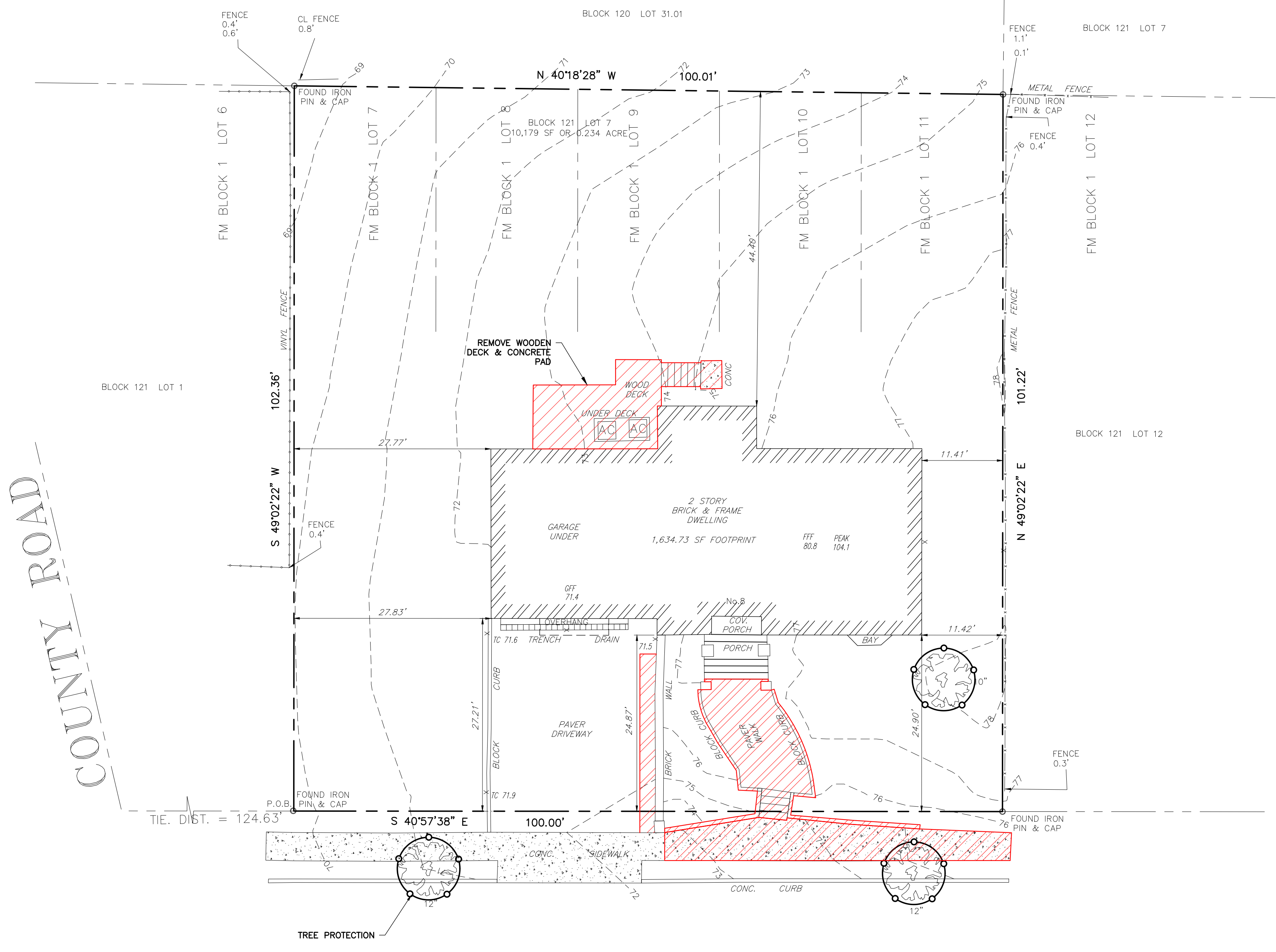
GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE PROPERTY SURVEY IS CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS AND FEATURES WHICH ARE TO REMAIN WHETHER SHOWN ON THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS EQUIPMENT, WATER, SANITARY FACILITIES, LIGHT, POWER, HEAT, TELEPHONE, TRANSPORTATION AND SUPERINTENDENCE FOR TEMPORARY CONSTRUCTION, SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE, COMPLETE AND DELIVER THE WORK WITHIN THE SPECIFIED TIME.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT TRAFFIC AS REQUIRED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER SATISFACTORY TO THE OWNER'S FIELD REPRESENTATIVE AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL REFUSE RUBBISH, SCRAP MATERIALS, UNSUITABLE MATERIALS AND DEBRIS CAUSED BY HIS/HER OPERATIONS SO THAT, AT ALL TIMES, THE SITE OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
- THE CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, REPAIR OR REPLACE ALL GROUND SURFACES, PAVEMENTS, SIDEWALKS, CURBS, ETC., WHICH ARE TO REMAIN AND WHICH MAY BECOME DISTURBED OR DAMAGED DUE TO HIS/HER OPERATION.
- AS MANDATED BY THE STATE OF NEW JERSEY, AN APPLICANT MUST RECYCLE THE FOLLOWING CONSTRUCTION MATERIALS AND DEMOLITION DEBRIS WHICH MAY INCLUDE, BUT IT IS NOT LIMITED TO, CONCRETE, ASPHALT, WOOD, METALS, BRICKS, BLOCK MASONRY, WALLBOARD, DIRT, ROCKS, LANDSCAPE WASTE, AND OTHER INERT WASTE. IT IS THE RESPONSIBILITY OF THE APPLICANT TO PROPERLY RECYCLE THESE ITEMS. UPON DISPOSAL OF THESE ITEMS THE APPLICANT MUST OBTAIN A WEIGHT TONNAGE SLIP THAT SHOULD BE FORWARDED TO THE DEPARTMENT OF PUBLIC WORKS FOR RECYCLING TONNAGE CREDIT.

DEMOLITION & REMOVAL NOTES

- CONTRACTOR SHALL PROTECT ALL UTILITIES AND SITE FEATURES SCHEDULED TO REMAIN.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- WHEREVER ASPHALT OR CONCRETE PAVEMENT IS REMOVED, THE CONTRACTOR SHALL SAW-CUT AND NEATLY TRIM THE EDGE OF REMAINING PAVEMENTS BEFORE INSTALLING NEW CONSTRUCTION. ASPHALT PAVEMENT SHALL BE REMOVED TO THE SUBGRADE.
- WHERE REMOVAL OF CONCRETE CURB IS SHOWN ON THE CONTRACT DRAWINGS, THE REMOVAL LIMITS SHALL BE TO THE NEAREST CURB JOINTS.
- DEMOLITION USING EXPLOSIVE, INCENDIARY, OR WRECKING BALL METHODS IS PROHIBITED.
- CONDUCT DEMOLITION/REMOVAL OPERATIONS AND DISPOSAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH THE USE OF, OR ACCESS TO, ADJACENT BUILDINGS OR CONSTRUCTION SITE AREA. DO NOT UNNECESSARILY OBSTRUCT SIDEWALKS OR STREETS.
- PROVIDE TEMPORARY INTERIOR SHORING, BRACING AND/OR SUPPORT AS REQUIRED ENSURING THAT MOVEMENT OR SETTLEMENT OF STRUCTURES TO BE DEMOLISHED IS SAFELY CONTROLLED AND COLLAPSE IS PREVENTED.
- USE WATER SPRINKLING, ENCLOSED CHUTES, AND/OR TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR. PROVIDE A WATER TRUCK, WATER LINE, AND HOSES FOR THIS PURPOSE. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICING OR FLOODING.
- DO NOT DISTURB SERVICE TO OFF-SITE FIRE HYDRANTS IN ANY WAY WITHOUT WRITTEN APPROVAL OF THE ENGINEER. IF, WITH WRITTEN APPROVAL OF THE ENGINEER, WATER SERVICE TO ANY AREA IS INTERRUPTED, MAKE PROVISIONS TO ENSURE ADEQUATE FIRE PROTECTION FOR SUCH AREA.
- AT ALL TIMES, MAINTAIN ACCESSIBILITY FROM THE STREET TO ALL FIRE HYDRANTS, TRAFFIC SIGNALS, POWER OR LIGHT POLES, MAILBOXES, AND SIMILAR UTILITY AND PUBLIC SERVICE ITEMS ADJACENT TO THE CONSTRUCTION SITE.
- DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED AREAS, EXCEPT WHEN AUTHORIZED BY THE ENGINEER. PROVIDE TEMPORARY SERVICES DURING SUCH INTERRUPTIONS AS APPROVED BY THE ENGINEER.
- DO NOT STORE ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE DEMOLITION OPERATIONS ON THE FLOOR OF PARTIALLY DEMOLISHED STRUCTURES OR ADJACENT CONSTRUCTION SITE AREAS.
- DISPOSE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AWAY FROM THE CONSTRUCTION SITE.
- DO NOT BURN, BURY, OR OTHERWISE DISPOSE OF DEBRIS, RUBBISH, OR OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- STORAGE OR SALE OF ITEMS OF SALVABLE VALUE TO THE CONTRACTOR IS PROHIBITED AT THE CONSTRUCTION SITE.

NO TREES ARE PROPOSED TO BE REMOVED

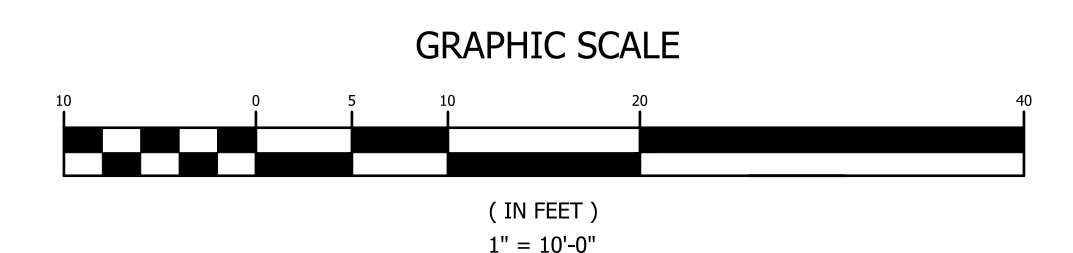


GLENWOOD AVENUE
 (50' ROW)

EXISTING CONDITION & DEMOLITION LEGEND

MONUMENT	UNKNOWN MANHOLE	WATER VALVE
IRON PIPE/REBAR	ELECTRIC MANHOLE	WATER METER
BOOK	SANITARY MANHOLE	FIRE HYDRANT
PAGE	CLEAN OUT	WATER SHUT OFF
RIGHT OF WAY	TELEPHONE MANHOLE	WELL
SIGN	STORM MANHOLE	IRRIGATION CONTROL
FLAGPOLE	CATCH BASIN	GAS VALVE
ADA SYMBOL	LIGHT POLE	GAS METER
BOLLARD	WALL-MOUNTED LIGHT	UTILITY POLE
TREE	ELECTRIC METER	GUY WIRE
WETLAND FLAG	MONITORING WELL	BORING HOLE
		TEST PIT

MINOR CONTOUR	EASEMENT LINE
MAJOR CONTOUR	TREE LINE
PROPERTY LINE (PQ)	WATER LINE
PROPERTY LINE	GAS LINE
SETBACK LINE	ELECTRIC LINE
WETLANDS BOUNDARY	OVERHEAD WIRES
STREAM OR BROOK	SANITARY SEWER
CHAIN LINK FENCE	STORM SEWER
WOOD FENCE	GUIDE RAIL
HARDSCAPES REMOVAL	REMOVE LINEAR FEATURE
GRAVEL REMOVAL	REMOVE INDIVIDUAL FEATURE
STRUCTURE REMOVAL	TREE TO BE REMOVED



BEFORE YOU DIG ANYWHERE IN NEW JERSEY
 CALL 1-800-272-1000 (NJ) 811
 THE STATE OF NEW JERSEY REQUIRES THREE (3) DAYS
 NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL,
 BLAST OR DEMOLISH.



Michael E. Dipple

Michael E. Dipple, P.E. Date: 3/16/2026
 New Jersey Professional Engineer #24GE04081200

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 HEWITT, NJ 07421
 201.264.2312

NO.	DATE	REVISION
1	12/18/25	REVISED ARCHITECTURE
2	3/16/26	REDUCED BUILDING ADDITION

PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
 8 GLENWOOD AVENUE
 BOROUGH OF DEMAREST
 BERGEN COUNTY, NEW JERSEY, 07627
 BLOCK: 121, LOT: 7
 TAX MAP: 16

DRAWING TITLE:
SITE PLAN

SCALE: REFER TO DRAWING
ORIG. DATE: 9/19/2025
DESIGNED: DJA
APPROVED: MED
L2A PROJ. No.: 2501.183
DRAWING No.:

C-03

PROJECT NOTES

1. PROPERTY LOCATION: BLOCK 121, LOT 7
2. PROPERTY ADDRESS: 8 GLENWOOD AVENUE, BOROUGH OF DEMAREST, NEW JERSEY
3. ZONE: R-D (SINGLE-FAMILY RESIDENCE D)
4. EXISTING & PROPOSED USE: RESIDENTIAL HOME
5. LOT AREA: 10,179 SQ. FT. (0.234 AC)

ZONING ANALYSIS

ZONE: R-D (SINGLE-FAMILY RESIDENCE D)	PERMITTED	EXISTING	PROPOSED	PROPOSED VARIANCE
MINIMUM LOT FRONTAGE (FT.)	100 FT	100.00 FT	100.00 FT	NO
MINIMUM LOT DEPTH (FT.)	100 FT	101.22 FT	101.22 FT	NO
MINIMUM LOT AREA (S.F.)	10,000 SF	10,179 SF	10,179 SF	NO
MINIMUM FRONT YARD SETBACK (FT.) ¹	25 FT	24.87 FT	24.87 FT	EN
MINIMUM SIDE YARD SETBACK (FT.)	10 FT	11.41 FT	11.42 FT	NO
MINIMUM REAR YARD DEPTH (FT.)	30 FT	44.40 FT	39.04 FT	NO
MAXIMUM BUILDING COVERAGE (%)	20%	16.06%	22.69%	YES
MAXIMUM PERMITTED HEIGHT (FT.) ²	30 FT	29.18 FT	29.32 FT	NO
MAXIMUM LIVABLE FLOOR AREA (%) ³	30%	28.49%	35.71%	YES
MAXIMUM IMPROVED LOT COVERAGE (%)	30%	27.25%	30.73%	YES
RESIDENTIAL & PARKING COVERAGE (%) ⁴	25%	22.03%	28.82%	YES

1. EN = EXISTING NON-COMFORMITY
2. MEASURED FROM THE AVERAGE NATURAL GRADE AROUND THE PERIMETER OF THE PROPOSED STRUCTURE. NO MORE THAN 50% OF THE ROOF AREA SHALL EXCEED THE SPECIFIED AVERAGE HEIGHT. FLAT ROOFS ABOVE 30 FEET IN HEIGHT ARE EXPRESSLY PROHIBITED IN ALL ZONES.
 AVG. GRADE ELEV = 74.78'
 ROOF PEAK ELEV. = 104.10'
 BUILDING HEIGHT = 104.10' - 74.78' = 29.32'
3. §175-27 - THE AGGREGATE AREA OF ALL FLOORS INCLUDED WITHIN THE OUTER WALLS OF A BUILDING, EXCLUDING BASEMENTS, GARAGES AND OTHER UNHEATED AREAS, AND INCLUDING ONLY SUCH FLOOR AREA UNDER A SLOPING CEILING FOR WHICH THE HEADROOM IS NOT LESS THAN FIVE FEET SIX INCHES, AND THEN ONLY IF AT LEAST 75% OF SUCH FLOOR AREA HAS A CEILING HEIGHT OF NOT LESS THAN SEVEN FEET SIX INCHES AND IF ANY SUCH FLOOR THAT IS SITUATED ABOVE ANOTHER STORY HAS ACCESS TO THE FLOOR BELOW BY A PERMANENT BUILT-IN STAIRWAY AND HAS A PERMANENT, COMPLETE FLOOR AND A MEANS OF HEATING TO 70° F. AT ALL TIMES.
4. §175-27 - THE PART OF THE SITE THAT IS COVERED BY BUILDINGS OR ACCESSORY BUILDINGS; IMPERVIOUS OR PERVIOUS TENNIS COURTS, BASKETBALL COURTS, DECKS, SWIMMING POOL DECKS, PATIOS, FIREPITS, HOT TUBS, OR OTHER RECREATIONAL STRUCTURES OR IMPROVEMENTS; IMPERVIOUS OR PERVIOUS PARKING AREAS, DRIVEWAYS, WALLS, WALKWAYS, PAVERS OR SIMILAR IMPROVEMENTS; AND ANY OTHER STRUCTURES OR IMPERVIOUS SURFACES. TOTAL IMPROVED LOT COVERAGE SHALL NOT EXCEED 30% OF THE LOT AREA. THE PERCENTAGE OF THE LOT TO BE USED FOR THE PRINCIPAL RESIDENTIAL SECTION 175-19(A)(1) ENCROACHMENTS INTO ALL YARDS; DECKS, PLATFORMS AND PORCHES, WHETHER ROOFED OR UNROOFED, ENCLOSED OR UNENCLOSED, AS STRUCTURAL FEATURES, SHALL NOT BE PERMITTED TO ENCROACH. (EX. NON-COMF.)
5. SECTION 358-14 - EXCEPT AS OTHERWISE REQUIRED HEREIN, NO PERSON SHALL DISTURB ANY SOIL UPON OR TRANSFER SOIL FROM OR TO ANY PROPERTY WITHIN THE CITY OF ENGLEWOOD WITHOUT FIRST OBTAINING A PERMIT THEREFOR FROM THE CITY ENGINEER. ANY CHANGE IN GROUND ELEVATION THAT RESULTS IN A TWO-FOOT ELEVATION GAIN OR MORE WITHIN 30 FEET OF ANY SIDE OR REAR PROPERTY LINE REQUIRES A VARIANCE FROM THE ENGLEWOOD BOARD OF ADJUSTMENT. (COMPLIES)

COVERAGE SUMMARY

COVERAGE TYPE	EXISTING	PROPOSED
BUILDING	1,634.73 SF (16.06%)	1,634.73 (EX. BUILDING) + 674.42 (ADDITION + FASCIA & SOFFIT) = 2,309.15 SF / 10,179 SF (LOT) = 22.69%
LIVABLE FLOOR AREA	2,900.00 SF (28.49%)	2,196.25 (FIRST FLOOR) + 1,438.67 (SECOND FLOOR) = 3,634.92 SF / 10,179 SF (LOT) = 35.71%
IMPROVED LOT	2,773.55 SF (27.25%)	2,309.15 (BUILDING COVERAGE) + 596.27 (DRIVEWAY) + 28.61 (BRICK WALL) + 161.35 (PAVER WALKWAY & STEPS) + 33.35 (CONCRETE UTIL. PAD) = 3,128.73 SF / 10,179 SF (LOT) = 30.73%
RESIDENTIAL & PARKING	2,308.07 SF (22.67%)	2,309.15 (BUILDING COVERAGE) + 596.27 (DRIVEWAY) + 28.61 (BRICK WALL) = 2,934.03 SF / 10,179 SF (LOT) = 28.82%

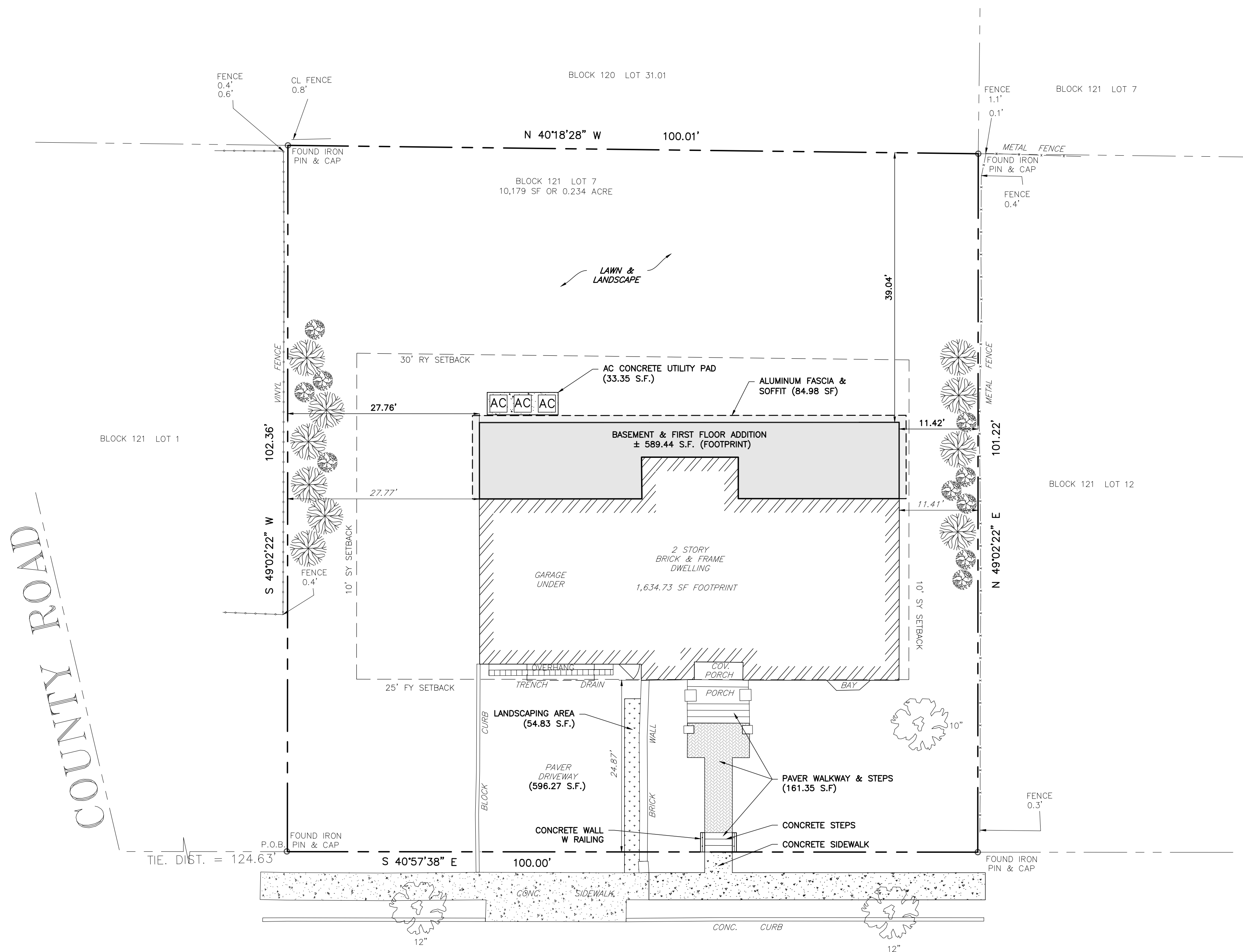
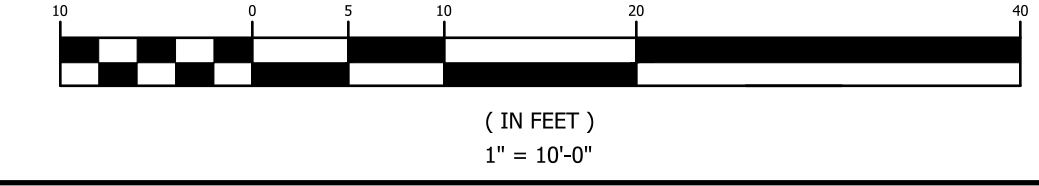
PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HT.	QTY.
	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	8'-10' HT.	40'-60'	10
	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8'-10' HT.	30'-50'	10

SITE LEGEND

	EXISTING	PROPOSED	EXISTING	PROPOSED
WATER VALVE			WATER METER	
FIRE HYDRANT			WATER/FIRE SHUT OFF	
GAS VALVE			GAS METER	
UTILITY POLE			SAN. CLEAN OUT	
SANITARY MANHOLE			CATCH BASIN	
ELECTRICAL MANHOLE			O.C.S.	
STORM MANHOLE			HEADWALL	
BOLLARD			TREE	
RETAINING WALL			FLAGPOLE	
SIGN			SIDEWALK	
ADA SYMBOL			CURB LINE	
ADA WARNING SURFACE			DEPRESSED CURB	
EV PARKING STALL			EV CHARGER	
PROPERTY LINE			PROPERTY LINE (PQ)	
SETBACK LINE			TREE LINE	
WETLANDS BOUNDARY			STREAM OR BROOK	
CHAIN LINK FENCE			VINYL FENCE	
WOOD FENCE			GUIDE RAIL	

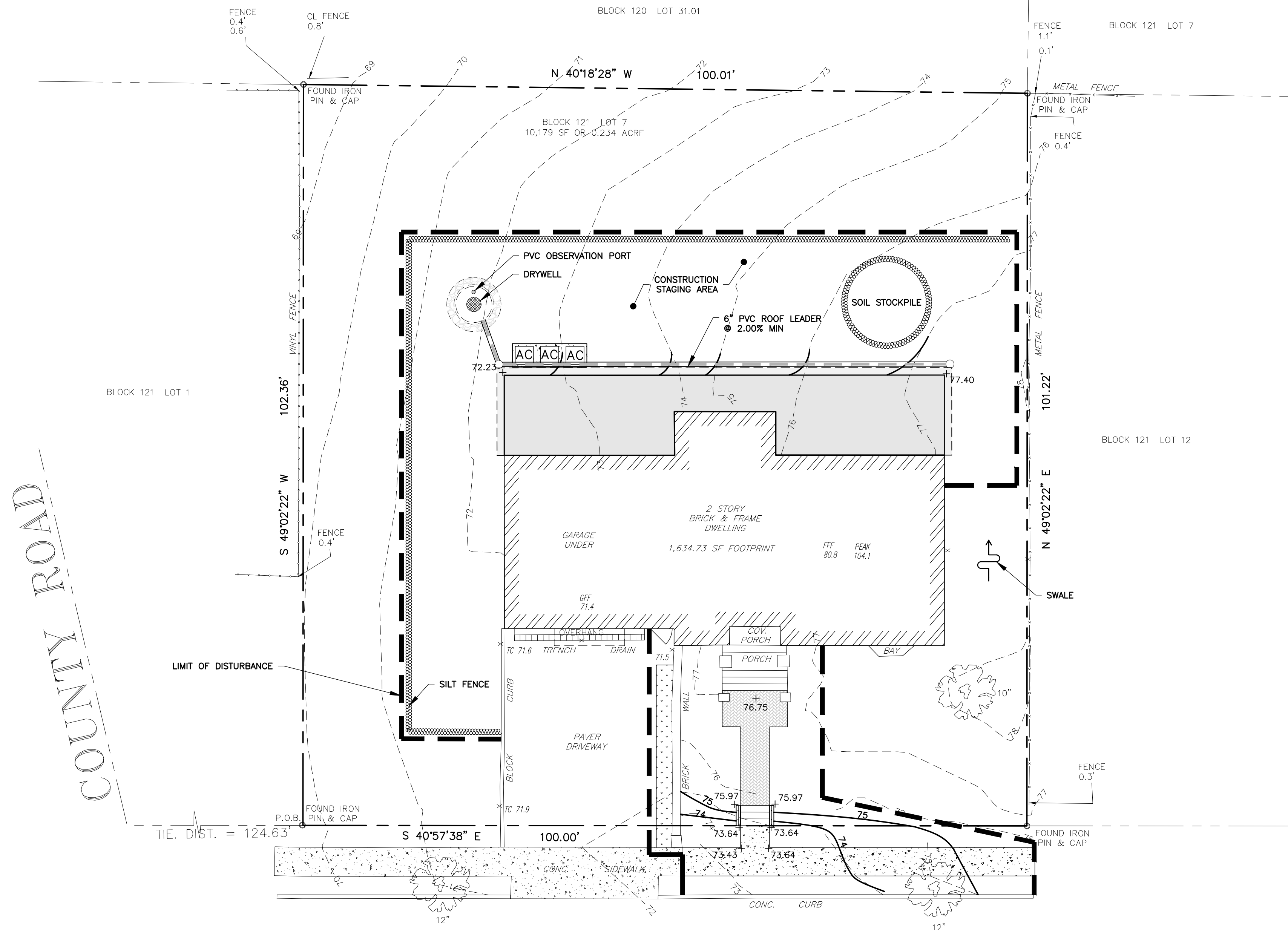
GRAPHIC SCALE



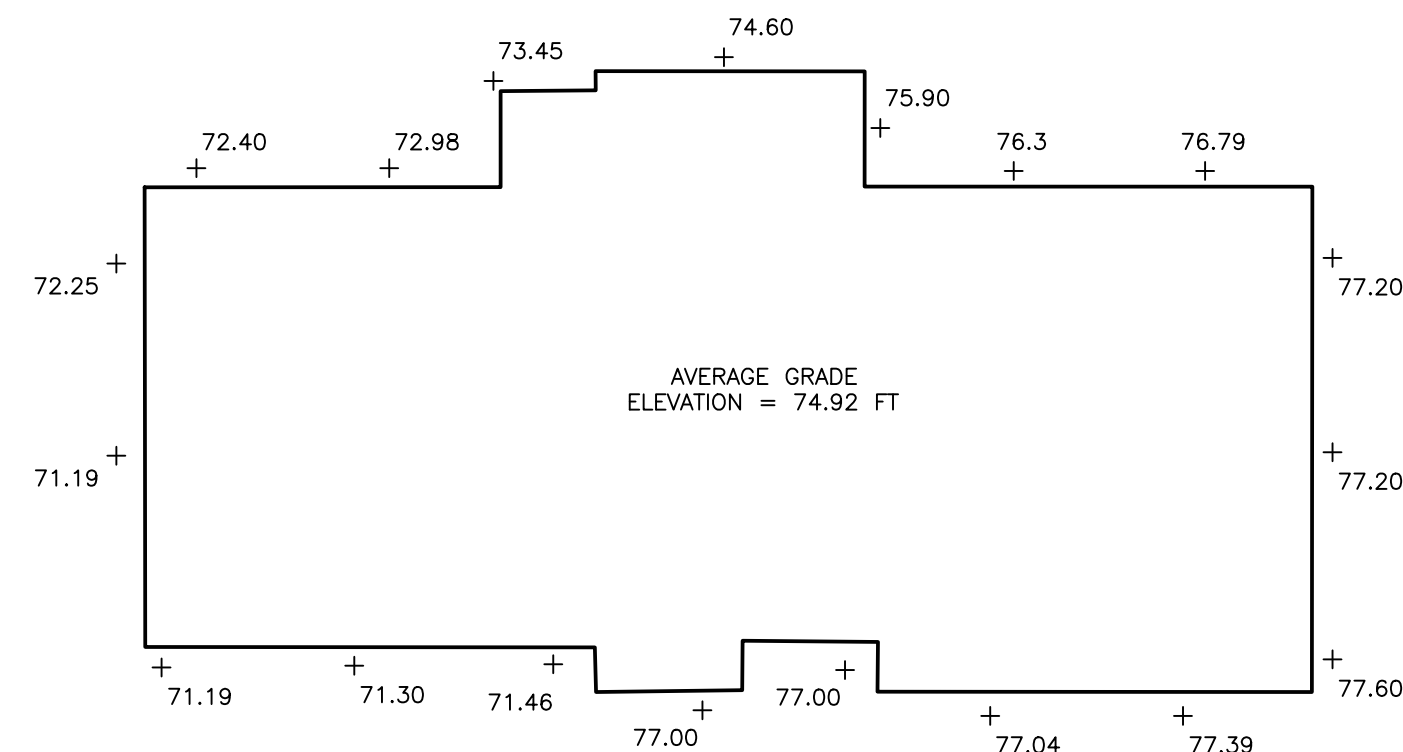
GLENWOOD AVENUE
 (50' ROW)

COUNTY ROAD

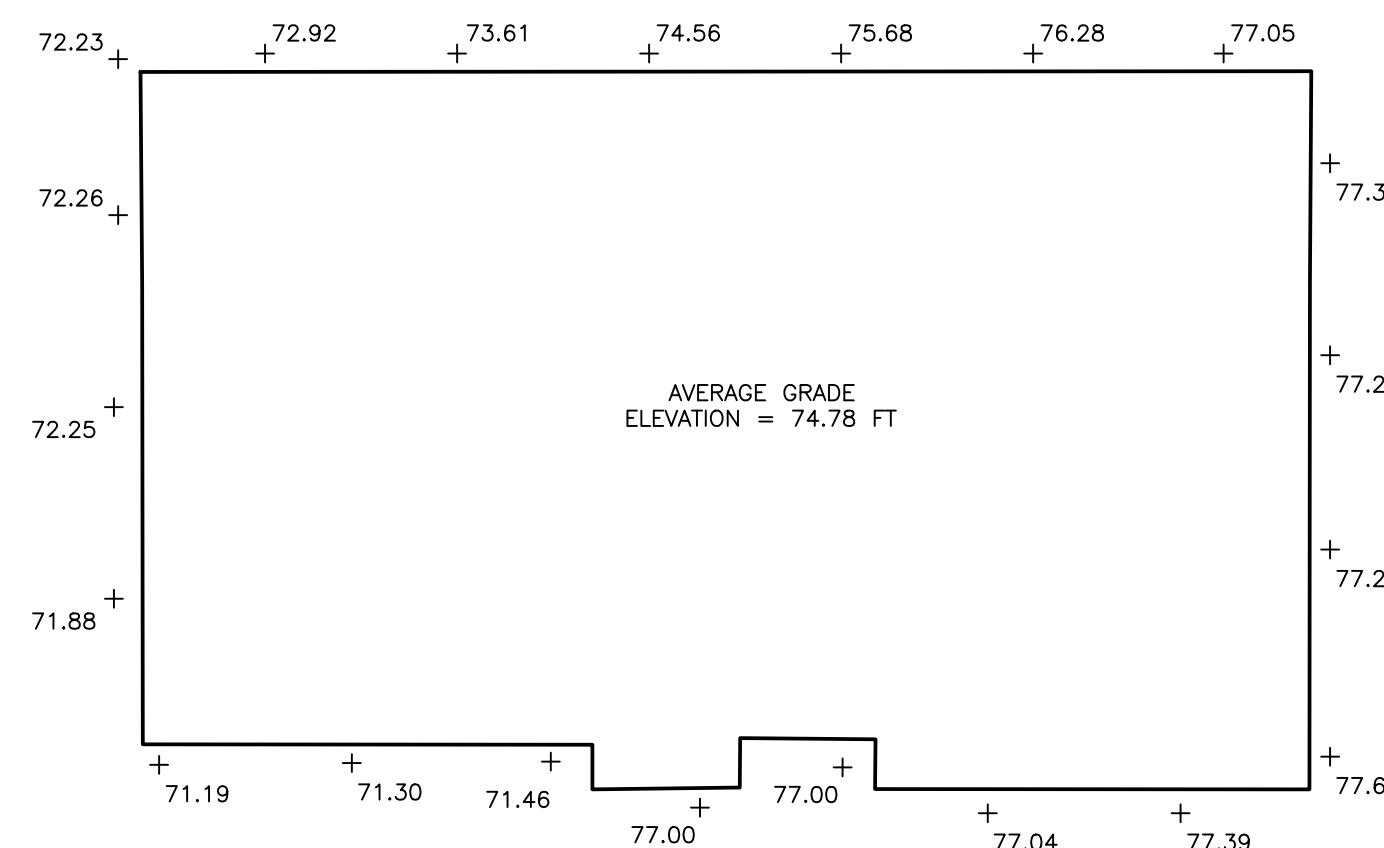
LIMIT OF DISTURBANCE = 4,239 SF (0.10 AC)



GLENWOOD AVENUE
(50' ROW)



EXISTING CONDITIONS



PROPOSED CONDITIONS

GRADING, EXCAVATION, AND BACKFILLING NOTES:

1. TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED ON THE VERTICAL DATUM NAVD 1988.
2. THE CONTRACTOR SHALL PREVENT WATER FROM ENTERING EXCAVATED AREA AND MAINTAIN A DRY CONDITION AT ALL TIMES.
3. DO NOT PLACE FILL OR BACKFILL ON FROZEN SUBGRADE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE SOIL MATERIAL. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
5. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. CURB FACE REVEAL WITHIN EXISTING PUBLIC ROADWAYS SHOULD BE MATCHED TO CREATE A SMOOTH TRANSITION. FIELD ADJUST TO CREATE A MINIMUM OF 0.50% GUTTER GRADE ALONG CURB FACE.
6. SLOPES ON SITE SHALL NOT EXCEED 3:1.

UTILITY NOTES:

1. ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT PER NEMA TC-2. SIZE PER ELECTRICAL INSTALLER (TYP).
2. LOCATION OF ELECTRIC AND COMMUNICATION SERVICES IS APPROXIMATE AND MUST BE CONFIRMED BY SERVICE PROVIDER. LOCATIONS OF TRANSFORMERS, PULL BOXES, ETC., AS WELL AS CONSTRUCTION SPECIFICATIONS TO BE DETERMINED AT PRE-CONSTRUCTION MEETING WITH UTILITY PROVIDER.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL THE NJ ONE CALL CENTER A MINIMUM OF 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
4. LOCATION OF EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS INDEPENDENTLY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES EXIST.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF UTILITY CONNECTIONS TO BUILDING(S). SHOULD ANY DISCREPANCIES EXIST, THE ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES IN UTILITY SERVICES EXIST.
6. SHOULD INTERFERENCE BETWEEN UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. WHERE SHOWN ON THE CONTRACT DRAWINGS, ADJUST THE CASTINGS OF EXISTING CATCH BASINS, MANHOLES AND VALVE BOXES TO FINISHED GRADE OF NEW PAVEMENT.
8. CIRCULAR REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE STATED ON THE CONTRACT DRAWINGS. (ASTM C-76, ASTM C-443, AASHTO M-170).
9. WHERE CONNECTIONS TO EXISTING DRAINAGE OR SANITARY STRUCTURES ARE REQUIRED, CUT NEATLY WITHOUT PERCUSSION INTO THE EXISTING STRUCTURE. THE MAXIMUM SIZE OF THE OPENING SHALL NOT EXCEED THE PIPE'S OUTER DIAMETER PLUS THREE (3") INCHES. CONNECT THE NEW PIPE AND SEAL AROUND IT WITH SIKAFLEX-2C OR APPROVED EQUAL.
10. PORTLAND CEMENT CONCRETE SHALL BE CLASS B, 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI, AIR-ENTRAINED UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT TOWNSHIP REQUIREMENTS AND PRACTICES.
11. THE DRIVEWAY AND CURBING MARK-OUTS MUST BE ESTABLISHED PRIOR TO THE INSTALLATION OF NEW UTILITIES.
12. DUCTILE IRON CEMENT PIPE SHALL BE CLASS 52 FOR DIAMETERS FOUR (4) INCHES AND LARGER.
13. GAS & ELECTRIC MAINS SHALL BE COORDINATED BETWEEN THE CONTRACTOR & UTILITY PROVIDERS PRIOR TO CONSTRUCTION. ANY CONFLICTS SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
14. ANY ADJUSTMENTS OR REPAIRS TO EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE MADE AT THE CONTRACTOR'S EXPENSE, SUBJECT TO INSPECTION AND APPROVAL BY THE UTILITY AGENCY INVOLVED.
15. ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND APPLICABLE SPECIFICATIONS FOR THIS PROJECT AND IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR LOCAL AGENCY REQUIREMENTS.
16. THE CONTRACTOR SHALL PROTECT VEGETATION IN AREAS THAT ARE TO BE LEFT IN THE NATURAL.

REQUIRED STORMWATER VOLUME

V = (Δ IMPROVED LOT COVERAGE) x (2" RAINFALL RUNOFF)
 IMPERVIOUS ADDITIONS: 674.42 (BUILDING ADDITION) + 161.35 (WALKWAY) + 33.35 (CONCRETE PAD) = 869.12 SF
 IMPERVIOUS REDUCTIONS: 213.75 (EX. DECK) + 251.99 (EX. WALKWAY) + 48.46 (LANDSCAPING AREA) = 514.20 SF
 IMP. ADDITIONS - IMP. REDUCTIONS = 869.12 SF - 514.20 SF = 354.92 SF
 AREA TRIBUTARY TO DRYWELL = 674.42 SF
 V = (674.42 SF) x (2" RAINFALL RUNOFF) = 112.63 CF OR **842.46 GALLONS**

DRYWELL CALCULATIONS

DRYWELL VOLUME = 133.68 CF = **1,000.00 GAL** (6.5' Ø, 6.0' DEEP)
 STONE VOLUME = (AREA OF STONE) x (DEPTH OF STONE) - DRYWELL VOLUME x 40%
 STONE VOLUME = (7.5' Ø) x (7' DEEP) - (133.68 CF) x 40% = 309.21 CF - 133.68 CF = 175.53 CF = **525.19 GALLONS**
 DRYWELL + STONE VOLUME = **1,000 GALLONS + 525.19 GALLONS = 1,525.19 GALLONS**

THEFORE: **1,525.19 GALLONS > 842.46 GALLONS OK**

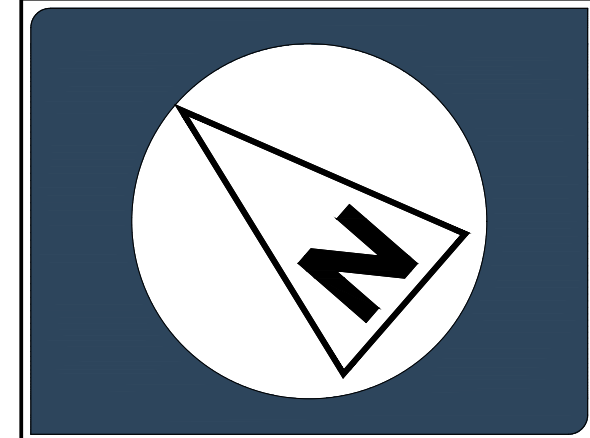
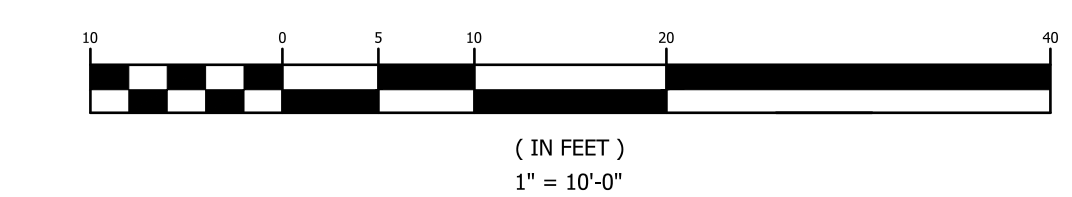
ESTIMATED SOIL MOVEMENT

ADDITION 107 CY
 SPREAD FOOTING 10 CY
 MISC. 2 CY
 ± 119 CY

GRADING & UTILITY LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
WATER VALVE			WATER METER		
FIRE HYDRANT			WATER/FIRE SHUT OFF		
GAS VALVE			GAS METER		
UTILITY POLE			SAN. CLEAN OUT		
SANITARY MANHOLE			CATCH BASIN		
ELECTRICAL MANHOLE			O.C.S.		
STORM MANHOLE			HEADWALL		
BOLLARD			TREE		
RETAINING WALL			FLAGPOLE		
SIGN			SIDEWALK		
ADA SYMBOL			CURB LINE		
ADA WARNING SURFACE			DEPRESSED CURB		
EV PARKING STALL			EV CHARGER		
EXISTING CONTOUR			TEST PIT/BORING		
PROPOSED CONTOUR			TREE LINE		
PROPERTY LINE (PO)			CHAIN LINK FENCE		
PROPERTY LINE			STEEL FENCE		
SETBACK LINE			GUIDE RAIL		
WETLANDS BOUNDARY			SLIDE GATE		
STREAM OR BROOK			GAS LINE		
WATER LINE			SANITARY SEWER		
ELECTRIC LINE			STORM SEWER		
OVERHEAD WIRES					

GRAPHIC SCALE



Michael E. Dipple, P.E.
 Date: 3/16/2026
 New Jersey Professional Engineer #24GE04081200

APPLICANT OWNER:
 MARTIN & BARBARA VITALE
 8 GLENWOOD AVENUE
 DEMAREST, NEW JERSEY 07627
 201.424.7944

ARCHITECT:
 JOSE CARBALLO ARCHITECTURE P.C.
 171 MAIN STREET, SUITE 301
 HACKENSACK, NEW JERSEY 07601
 201.678.1201

SURVEYOR:
 EID ASSOCIATES, INC
 102 WAYSIDE ROAD
 HEWITT, NJ 07421
 201.264.2312

NO.	DATE	REVISION
1	12/18/25	REVISED ARCHITECTURE
2	3/16/26	REDUCED BUILDING ADDITION

PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
 8 GLENWOOD AVENUE
 BOROUGH OF DEMAREST
 BERGEN COUNTY, NEW JERSEY, 07627
 BLOCK: 121, LOT: 7
 TAX MAP: 16

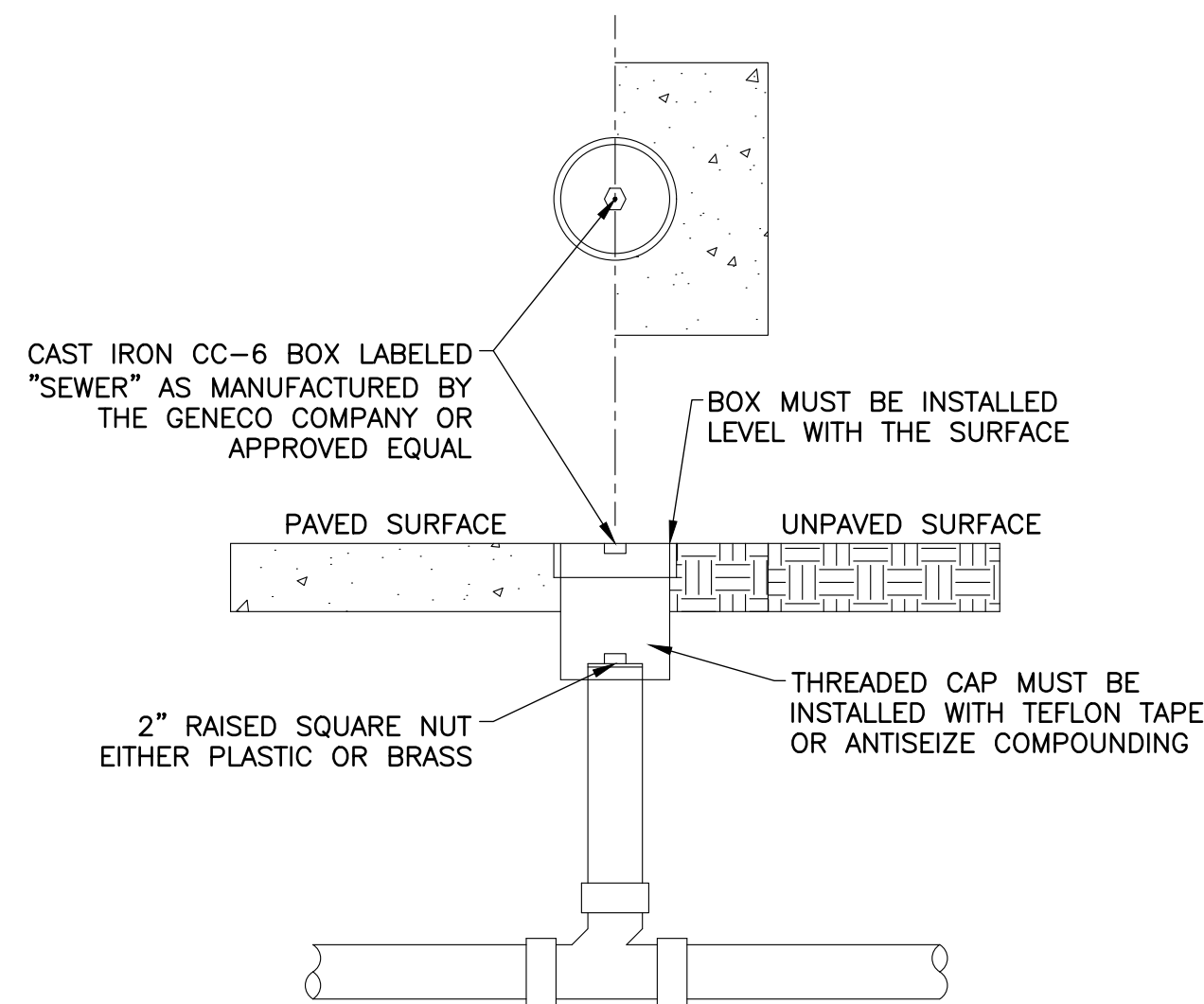
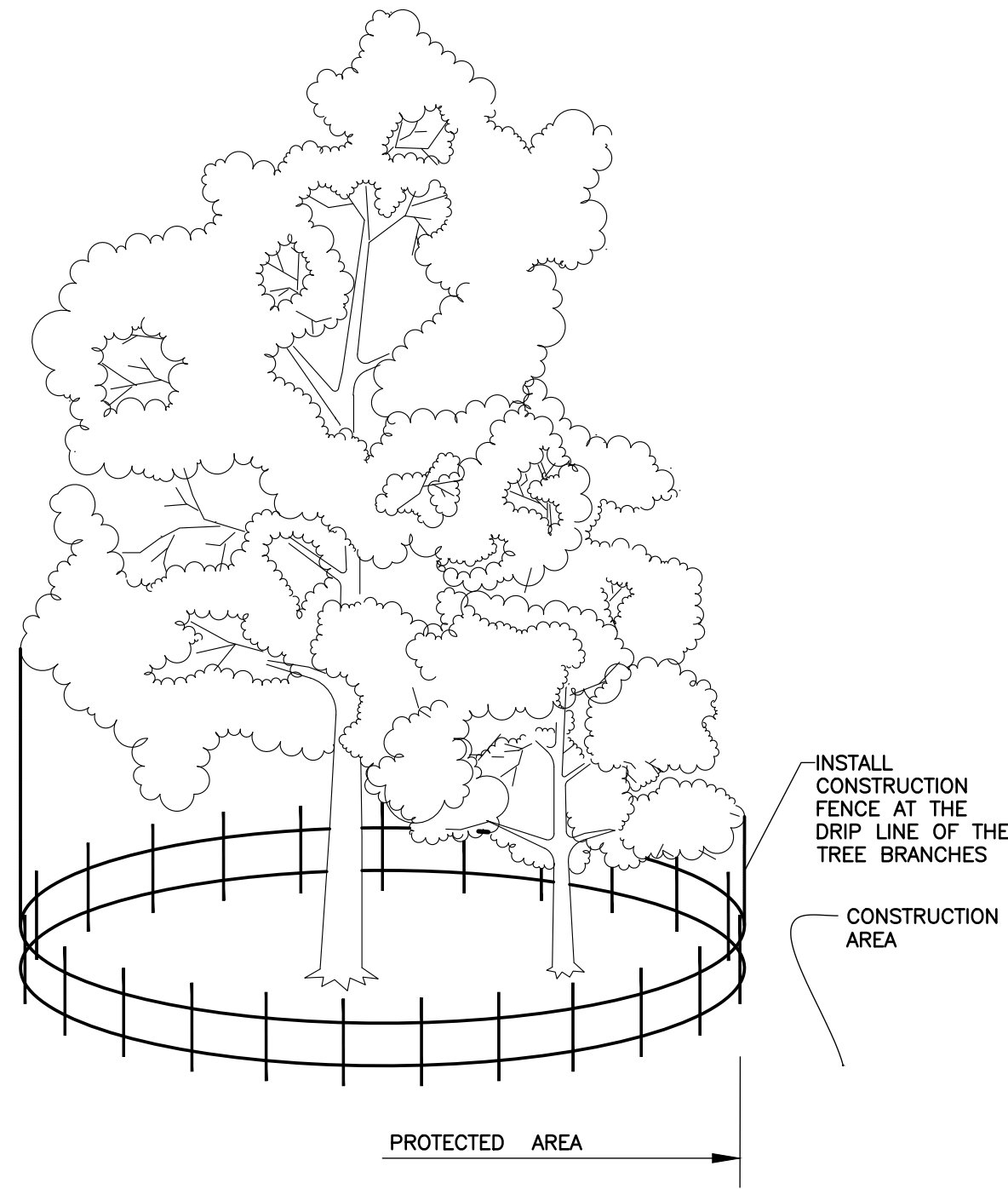
DRAWING TITLE:

GRADING, DRAINAGE, & UTILITY PLAN

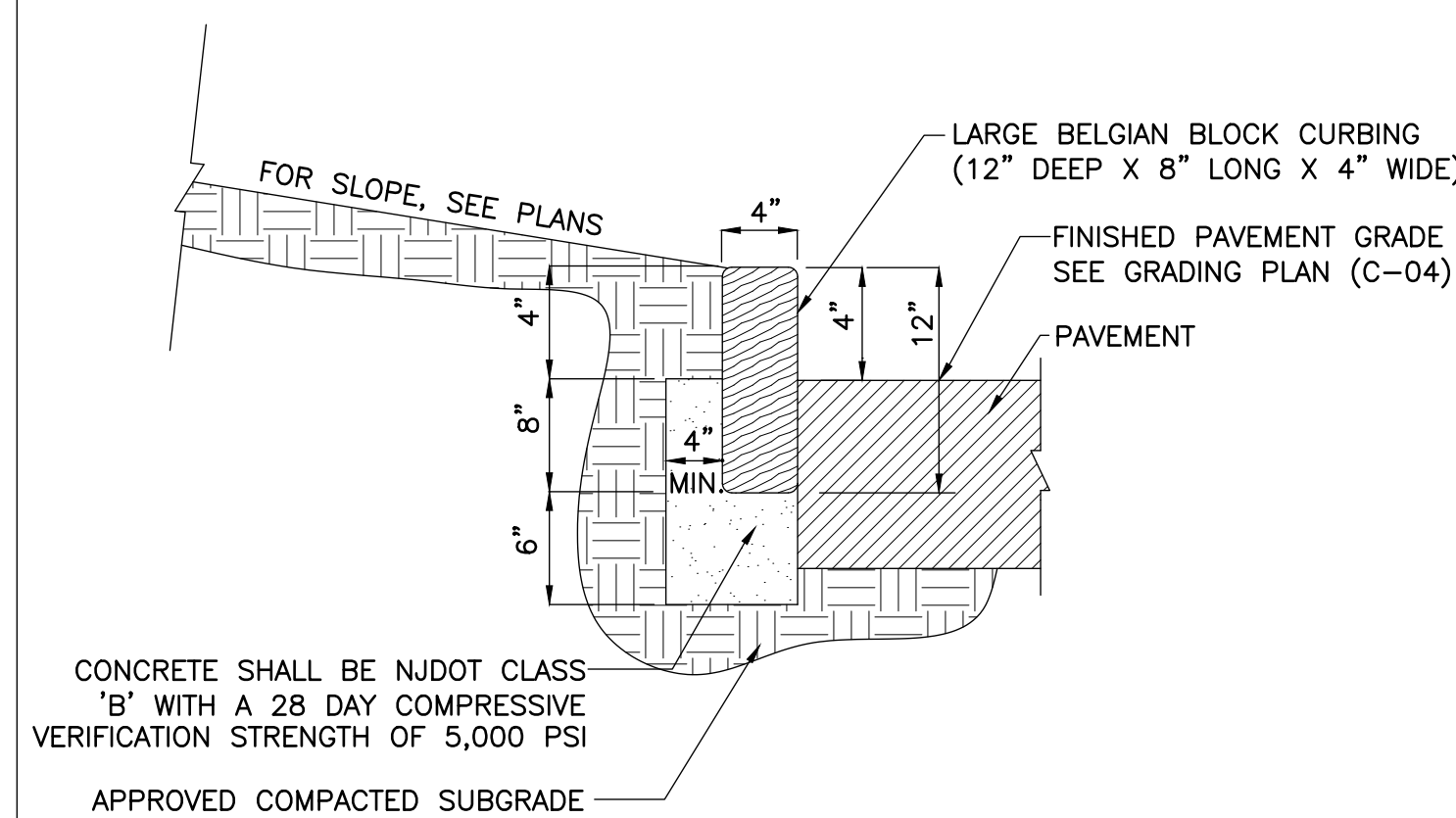
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 DESIGNED: DJA
 APPROVED: MED
 L2A PROJ. No.: 2501.183
 DRAWING No.:

C-04

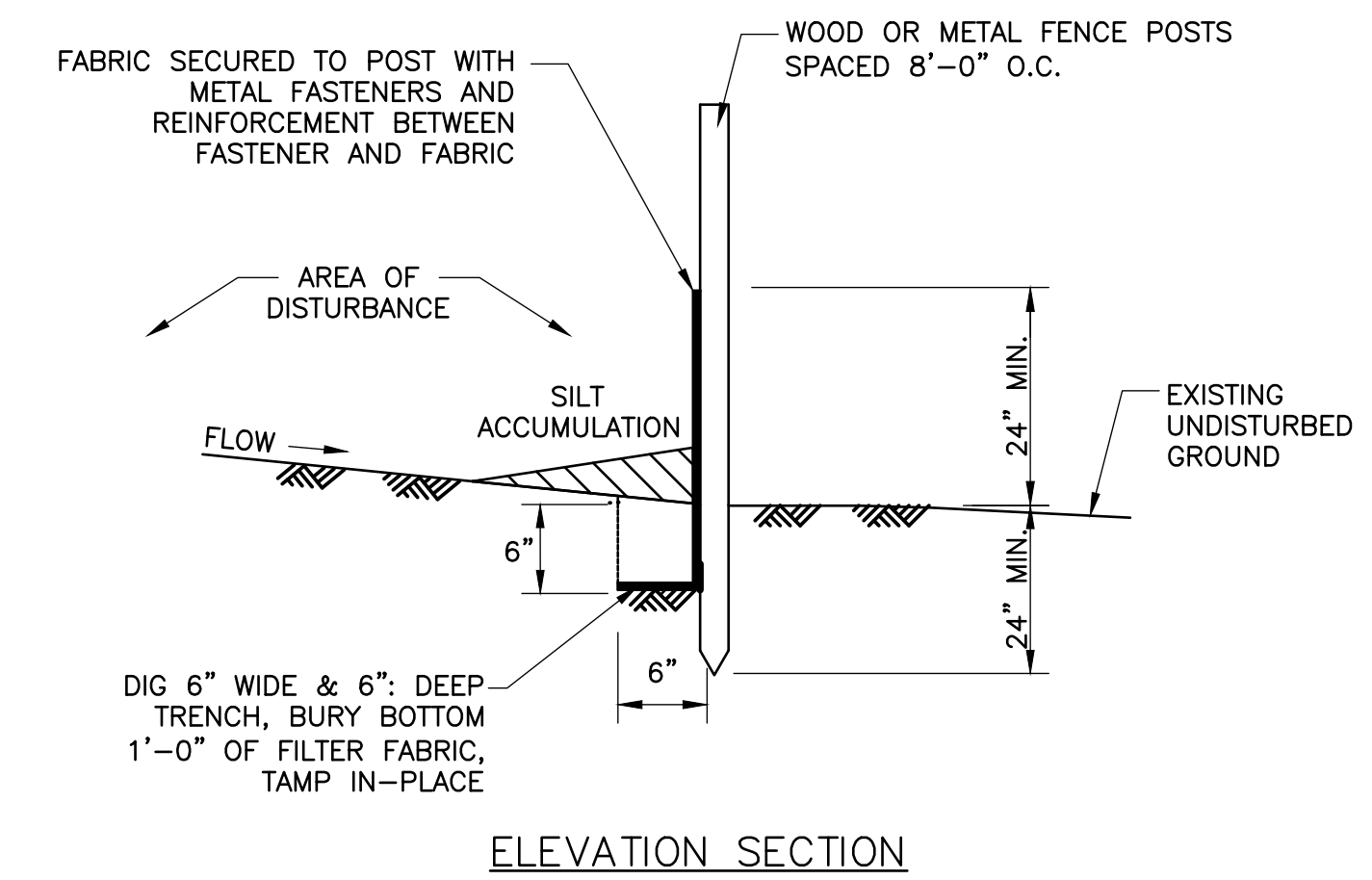
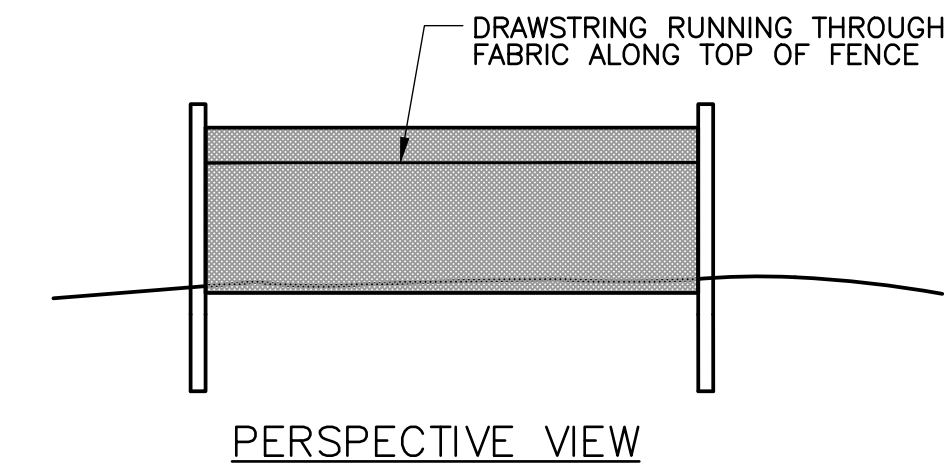
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- NOTES:**
1. AT LEAST ONE CLEANOUT MUST BE PROVIDED ON EACH LATERAL.
 2. A CLEANOUT WILL BE PROVIDED FOR EACH LATERAL BETWEEN THE CURB AND THE SIDEWALK.
 3. IN GENERAL, OWNERSHIP AND MAINTENANCE OF LATERALS AND CLEANOUTS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. THE LOCATION OF ALL CLEANOUTS MUST BE APPROVED BY THE MUNICIPAL BUILDING DEPARTMENT.
 5. ALL CLEANOUTS LOCATED WITHIN PAVEMENT OR CONCRETE MUST BE PROTECTED WITH A CC-6 BOX.



- NOTES:**
1. JOINTS SHALL BE NO WIDER THAN 1/4" AND SHALL NOT BE MORTARED.
 2. JOINTS SHALL BE NO WIDER THAN 1/2" AND SHALL BE MORTARED. JOINTS SHALL BE FULLY FILLED WITH 1:2 CEMENT MORTAR, NEATLY POINTED AND CLEANED OF EXCESS MORTAR.



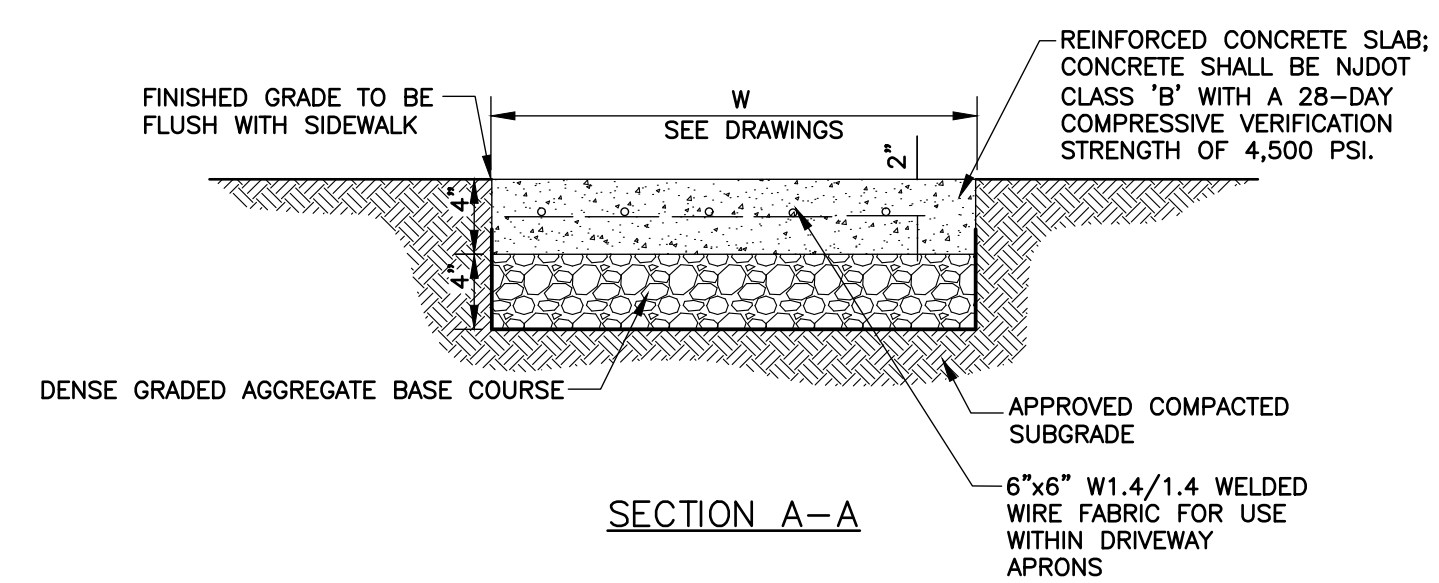
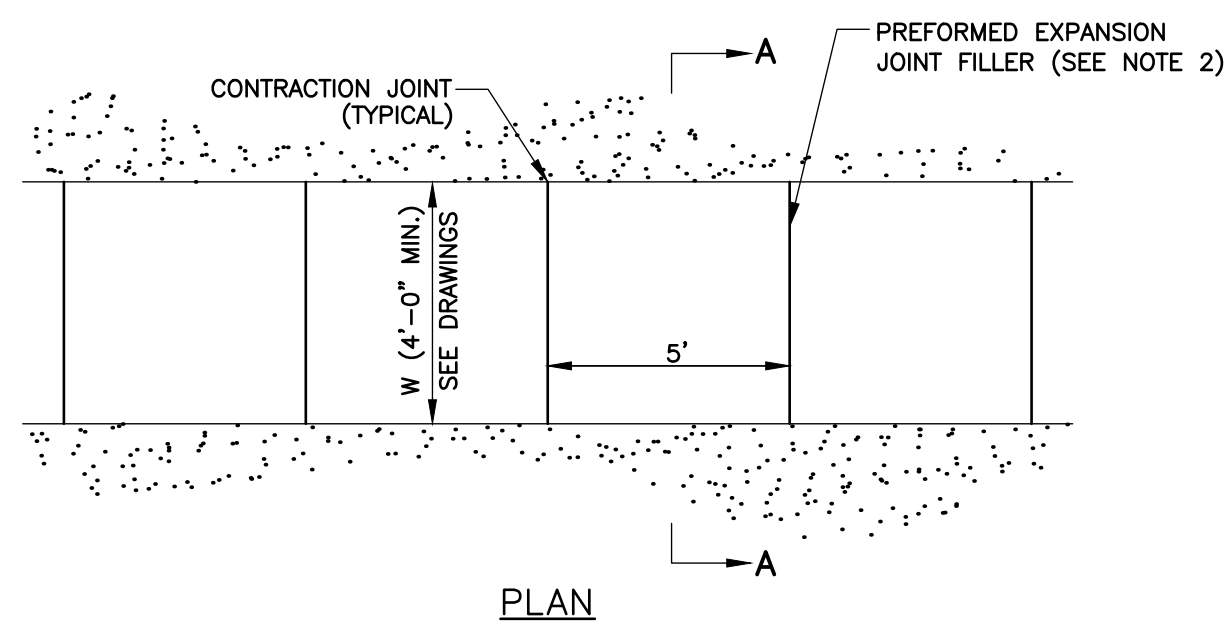
- NOTES:**
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
 2. THE SLOPE OF THE LAND FOR AT LEAST THIRTY (30'-0") FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED FIVE (5%) PERCENT.
 3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS AROUND THE SIDES OF THE FENCE.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE SOIL CONSERVATION DISTRICT.

TREE PROTECTION

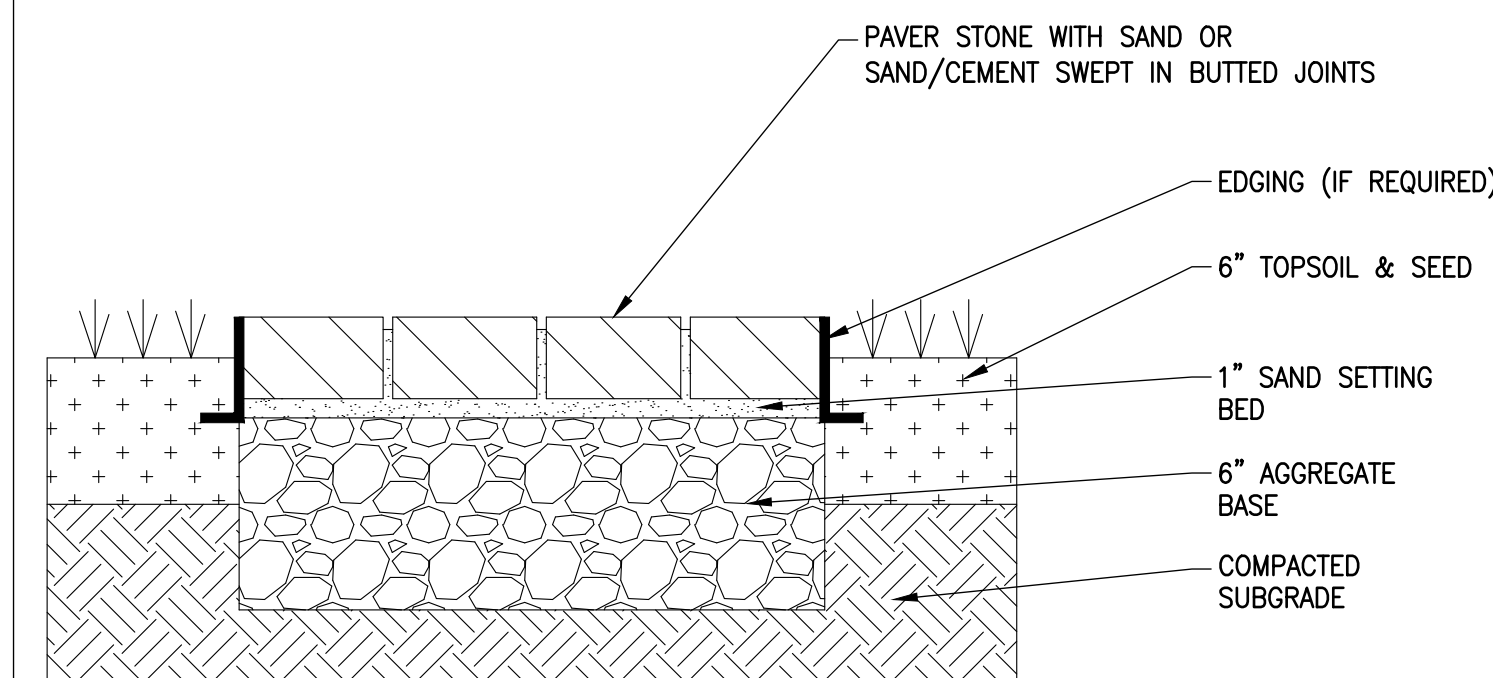
STANDARD PIPE CLEANOUT

BELGIAN BLOCK CURB

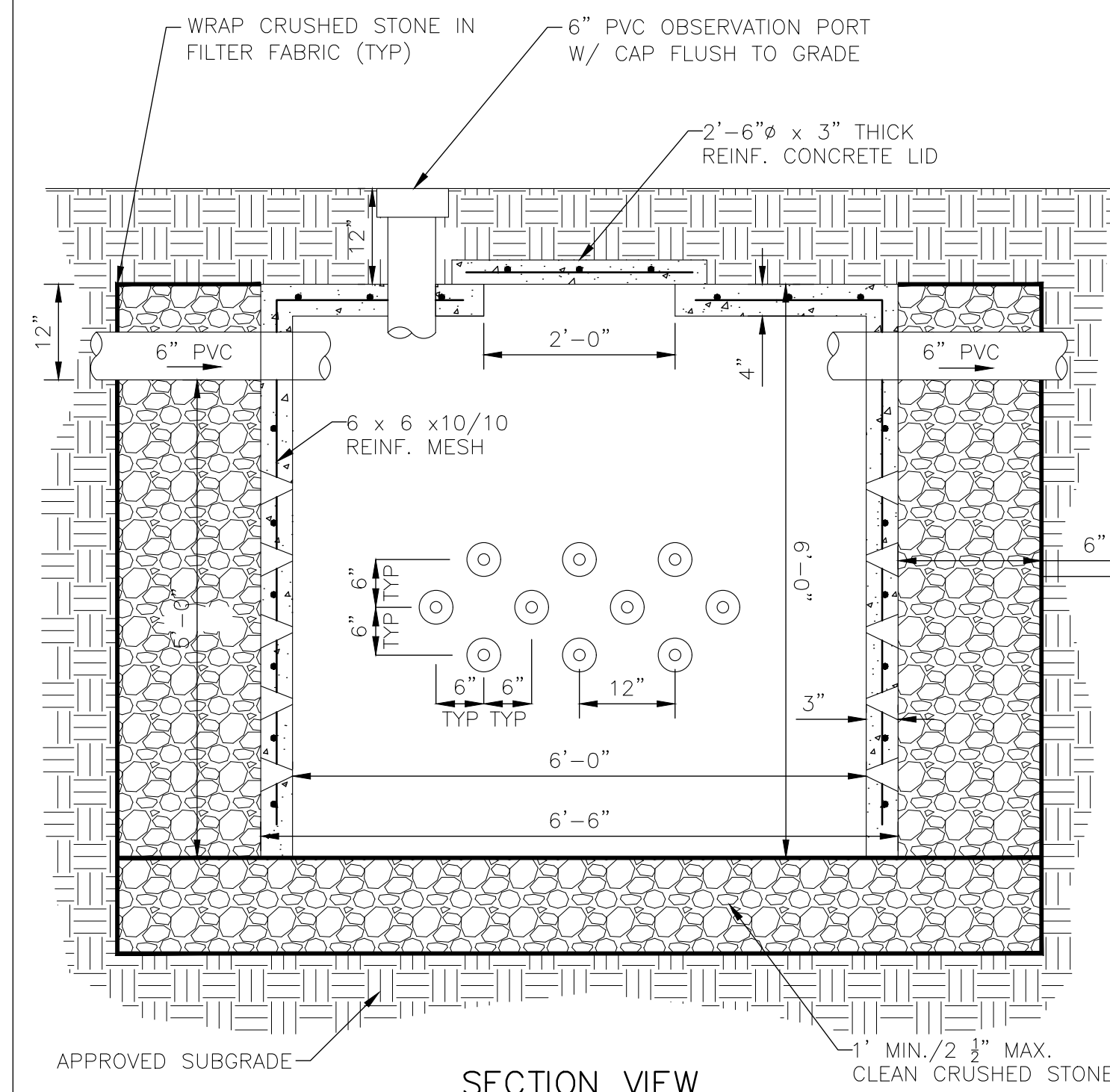
SILT FENCE



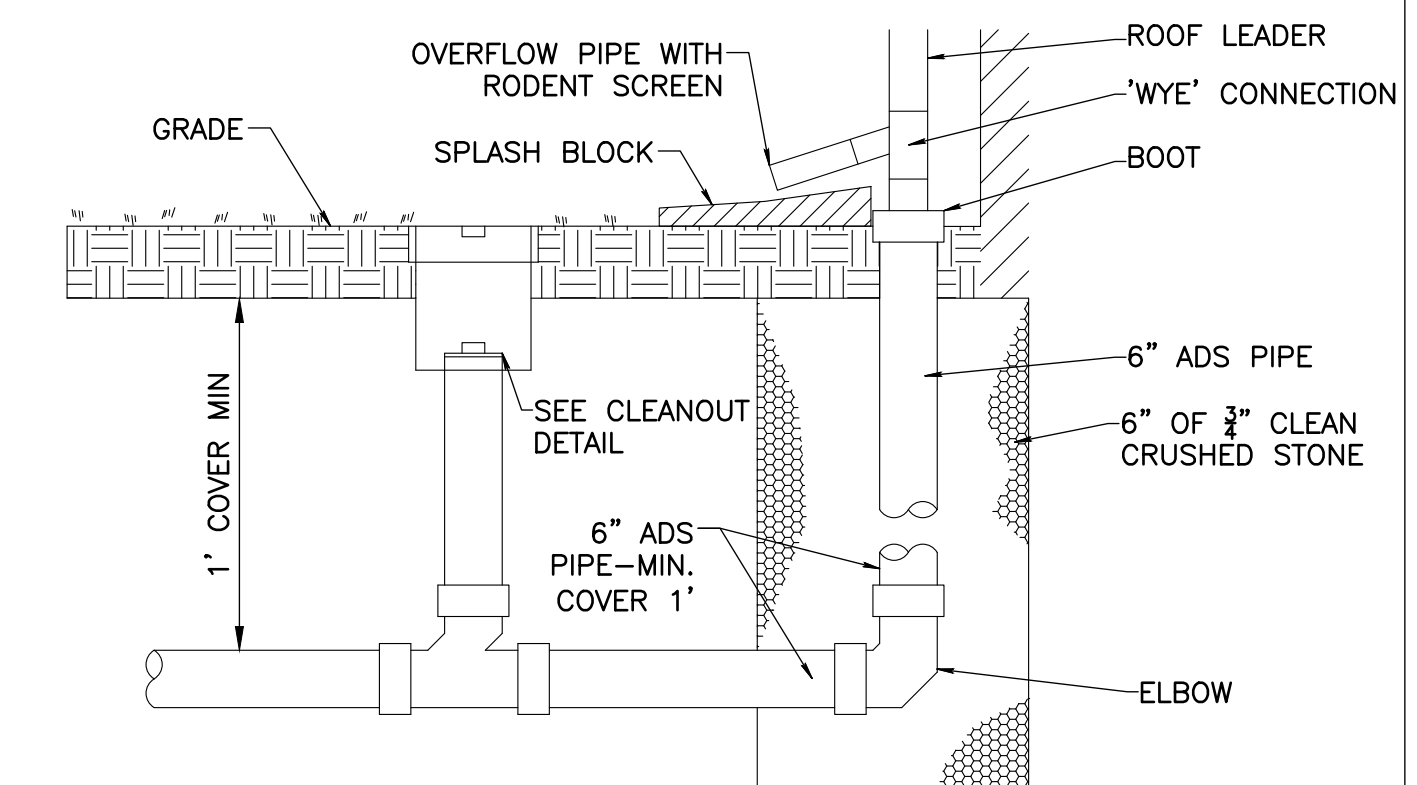
- NOTES:**
1. CONCRETE SIDEWALK:
 - A) EXPANSION JOINTS, CONSISTING OF PREMOLDED BITUMINOUS JOINT FILLER, IN ACCORDANCE WITH ASTM DESIGNATION D-1751, ONE-HALF (1/2") THICK AND AS DEEP AS THE FULL DEPTH OF THE WALK, SHALL BE PLACED AT INTERVALS OF TWENTY (20') LONGITUDINALLY ALONG WALKS OR AS DIRECTED. EXPANSION JOINTS SHALL ALSO BE PLACED WHEREVER THE WALK ABUTS THE BUILDING, CONCRETE CURB, A LIGHTING STANDARD OR ANY OTHER RIGID OBJECT. THE JOINT FILLER SHALL BE SET ONE-QUARTER (1/4") BELOW THE FINISHED SURFACE OF THE CONCRETE.
 - B) CONSTRUCTION JOINTS SHALL BE PLACED IN ALL WALKS AT FIVE (5') FOOT INTERVALS OR AS DIRECTED. THESE JOINTS SHALL ALSO BE FORMED BY SCORING A SLOT IN THE SLAB ABOUT ONE (1") DEEP, EDGED WITH A DOUBLE EDGER HELD AGAINST A STRAIGHT EDGE BEFORE THE CONCRETE HAS HARDENED AND DURING THE FINISHING PROCESS.
 2. MAXIMUM GROSS SLOPE SHALL BE 1/4" PER FOOT, UNLESS OTHERWISE INDICATED ON DRAWINGS.
 3. REINFORCING SHALL NOT EXTEND THROUGH EXPANSION JOINTS.
 4. SIDEWALK SHALL HAVE LIGHT BROOM FINISH.
 5. AT DRIVEWAYS AND APRONS, THE CONCRETE THICKNESS SHALL BE INCREASED TO SIX (6") INCHES.



- NOTES:**
1. THIS DETAIL IS RATED FOR MEDIUM-DUTY APPLICATIONS BASED ON PAVING COURSE AND BASE THICKNESS, AND MAY SUPPORT PRIMARILY PEDESTRAIN LOADING ASSOCIATED WITH WALKS AND LIGHT VEHICULAR ACCESS.
 2. AS WITH ALL UNIT PAVERS, PAVEMENT EDGES REQUIRE RESTRAINTS TO PREVENT CREEPING, ESPECIALLY IF SUBJECTED TO EVEN OCCASIONAL VEHICULAR ACCESS.
 3. THE SUBGRADE CONDITIONS HAVE A SIGNIFICANT IMPACT ON THE DESIGN OF FLEXIBLE PAVEMENTS, SUCH AS UNIT PAVERS. LOADS ARE TRANSFERRED MORE DIRECTLY TO THE BASE, REQUIRING WELL-DRAINED SOILS WITH ADEQUATE BEARING CAPACITY.
 4. SET STONES WITH LIGHT VIBRATING COMPACTOR AND FINAL SAND SWEEPING TO COMPLETE INSTALLATION.



- NOTES:**
1. CONCRETE TO TEST 4,500 PSI @ 28 DAYS
 2. HEIGHT = 6'-0"
 3. OUTSIDE DIAMETER = 6'-6"
 4. TOTAL NUMBER OF HOLES = 190
 5. CAPACITY = 1000 GALLONS
 6. MANUFACTURED BY A & A CONCRETE PRODUCTS, INC., PO BOX 108, RIVERDALE, NJ 07457 (973) 835-2239 (OR AN APPROVED EQUAL).



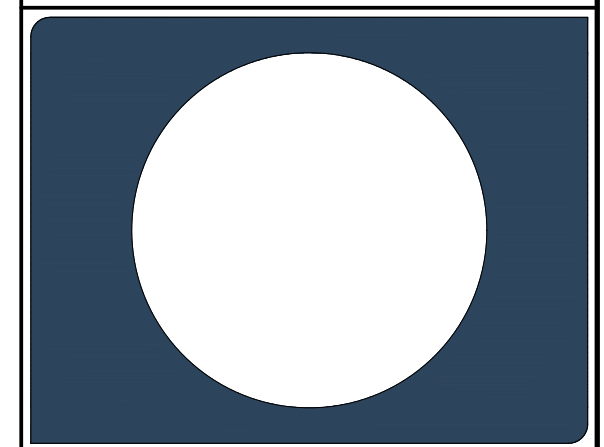
- NOTES:**
1. SEE UTILITY PLAN (SHEET C-04) FOR ROOF LEADER PIPE LOCATIONS

CONCRETE SIDEWALK

CONCRETE PAVER WALKWAY

DRYWELL

ROOF-LEADER DRAIN



Michael E. Dipple, P.E. Date: 3/16/2026
New Jersey Professional Engineer #24GE04081200

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DETAILS

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C-05