


8/5/25

Bergen County Recording Data Page Honorable John S. Hogan Bergen County Clerk		<i>Official Use Only - Barcode</i>	
			
<i>Official Use Only – Realty Transfer Fee</i>			
Date of Document: 05/20/2025		Type of Document: DEED	
First Party Name: Sung Jun Hong and Elizabeth Hong		Second Party Name: KNS Property Holdings LLC	
Additional Parties:			

THE FOLLOWING SECTION IS REQUIRED FOR DEEDS ONLY	
Block: 91	Lot: 307
Municipality: Demarest	
Consideration: \$714,720.00	
Mailing Address of Grantee: 110 County Road, Demarest, NJ 07627	

THE FOLLOWING SECTION IS FOR ORIGINAL MORTGAGE BOOKING & PAGE INFORMATION FOR ASSIGNMENTS, RELEASES, SATISFACTIONS, DISCHARGES & OTHER ORIGINAL MORTGAGE AGREEMENTS ONLY	
Original Book:	Original Page:

BERGEN COUNTY RECORDING DATA PAGE
Please do not detach this page from the original document as it contains important recording information and is part of the permanent record.

Prepared by: (Print signer's name below signature)

Jimmy Song, Esq.

DEED

This Deed is made on May 20, 2025,

BETWEEN

SUNG JUN HONG AND ELIZABETH HONG, husband and wife, who is the owner of

110 County Road, Demarest, NJ 07627.

referred to as the Grantor,

AND

KNS PROPERTY HOLDINGS LLC, who is about to be the owner of

110 County Road, Demarest, NJ 07627.

referred to as the Grantee.

The words "Grantor" and "Grantee" shall mean all Grantors and all Grantees listed above.

Transfer of Ownership. The Grantor grants and conveys (transfers ownership of) the property described below to the Grantee. This transfer is made for the sum of Seven Hundred Fourteen Thousand Seven Hundred Twenty Dollars and Zero Cents (\$714,720.00).

The Grantor acknowledges receipt of this money.

Tax Map Reference. (N.J.S.A. 46:15-2.1) Borough of Demarest

Block No. 91 Lot 307

No property tax identification number is available on the date of this deed.
(Check box if applicable.)

Property. The property consists of the land and all the buildings and structures on the land in the Borough of Demarest, County of Bergen and State of New Jersey.

The legal description is: See Schedule C attached hereto.

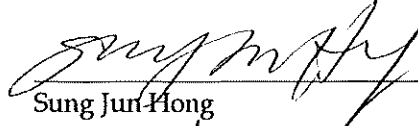
Also commonly known as 110 County Road, Demarest, NJ 07627.

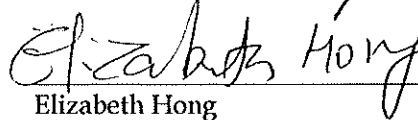
Being the same premises conveyed by Deed to Sung Jun Hong, married by deed from Maryann C. Ragone, unmarried, dated April 26, 2004, recorded May 17, 2004 in the Bergen County Clerk's/Register's Office in Deed Book 8682, Page 676.

Elizabeth Hong joins in the execution of this deed for the purpose of conveying to the grantee(s) any right, title, and/or interest she may have in and to the premises being conveyed as a result of her marital relationship to the grantor, Sung Jun Hong.

Promises by Grantor. The Grantor promises that the Grantor has done no act to encumber the property. This promise is called a "covenant as to grantor's acts" (N.J.S.A. 46:4-6). This promise means that the Grantor has not allowed anyone else to obtain any legal rights which affect the property such as by making a mortgage or allowing a judgment to be entered against the Grantor.

Signatures. The Grantor signs this Deed as of the date at the top of the first page.

 (Seal)
Sung Jun Hong

 (Seal)
Elizabeth Hong

STATE OF NEW JERSEY, COUNTY OF BERGEN

SS:

I CERTIFY that on May 20, 2025, Sung Jun Hong and Elizabeth Hong personally came before me and acknowledged under oath to my satisfaction, that this person (or if more than one, each person):

- (a) is named in and personally signed this Deed;
- (b) signed, sealed and delivered this Deed as his or her act and deed; and
- (c) made this Deed for \$714,720.00, as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5)



NOTARY PUBLIC

Jimmy J. Song, Esq.
NJ Attorney at Law

RECORD AND RETURN TO:
Blueland Title Agency, LLC
460 Bergen Boulevard, Suite 204
Palisades Park, NJ 07650

State of New Jersey
Seller's Residency Certification/Exemption

Seller's Information

Name(s)
Sung Jun Hong and Elizabeth Hong, husband and wife
Current Street Address
100 E. Madison Avenue
City, Town, Post Office
DUMONT State NJ ZIP Code 07628

Property Information

Block(s) 91 Lot(s) 307 Qualifier
Street Address
110 County Road
City, Town, Post Office
DEMAREST State NJ ZIP Code 07627

Seller's Percentage of Ownership 100 Total Consideration \$714,720.00 Owner's Share of Consideration \$714,720.00 Closing Date 5/20/2025

Seller's Assurances (Check the Appropriate Box) (Boxes 2 through 16 apply to Residents and Nonresidents)

- 1. Seller is a resident taxpayer (individual, estate, or trust) of the State of New Jersey pursuant to the New Jersey Gross Income Tax Act, will file a resident Gross Income Tax return, and will pay any applicable taxes on any gain or income from the disposition of this property.
- 2. The real property sold or transferred is used exclusively as a principal residence as defined in 26 U.S. Code section 121.
- 3. Seller is a mortgagor conveying the mortgaged property to a mortgagee in foreclosure or in a transfer in lieu of foreclosure with no additional consideration.
- 4. Seller, transferor, or transferee is an agency or authority of the United States of America, an agency or authority of the State of New Jersey, the Federal National Mortgage Association, the Federal Home Loan Mortgage Corporation, the Government National Mortgage Association, or a private mortgage insurance company.
- 5. Seller is not an individual, estate, or trust and is not required to make an estimated Gross Income Tax payment.
- 6. The total consideration for the property is \$1,000 or less so the seller is not required to make an estimated Income Tax payment.
- 7a. The gain from the sale is not recognized for federal income tax purposes under 26 U.S. Code section 721, 1031, or 1033 (CIRCLE THE APPLICABLE CODE SECTION). If the indicated section does not ultimately apply to this transaction, the seller acknowledges the obligation to file a New Jersey Income Tax return for the year of the sale and report the recognized gain. See instructions.
- 7b. Seller only received like-kind property.
- 8. The real property is being transferred by an executor or administrator of a decedent to a devisee or heir to effect distribution of the decedent's estate in accordance with the provisions of the decedent's will or the intestate laws of this State.
- 9. The real property being sold is subject to a short sale instituted by the mortgagee, whereby the seller agreed not to receive any proceeds from the sale and the mortgagee will receive all proceeds paying off an agreed amount of the mortgage.
- 10. The deed is dated prior to August 1, 2004, and was not previously recorded.
- 11. The real property is being transferred under a relocation company transaction where a trustee of the relocation company buys the property from the seller and then sells the house to a third party buyer for the same price.
- 12. The real property is being transferred between spouses or incident to a divorce decree or property settlement agreement under 26 U.S. Code section 1041.
- 13. The property transferred is a cemetery plot.
- 14. The seller is not receiving net proceeds from the sale. Net proceeds from the sale means the net amount due to the seller on the settlement sheet.
- 15. The seller is a retirement trust that received an acknowledgment letter from the Internal Revenue Service that the seller is a retirement trust, and is therefore not required to make the estimated Gross Income Tax payment.
- 16. The seller (and/or spouse/civil union partner) originally purchased the property while a resident of New Jersey as a member of the U.S. Armed Forces and is now selling the property as a result of being deployed on active duty outside of New Jersey. (Only check this box if applicable and neither boxes 1 nor 2 apply.)

Seller's Declaration

The undersigned understands that this declaration and its contents may be disclosed or provided to the New Jersey Division of Taxation and that any false statement contained herein may be punished by fine, imprisonment, or both. I furthermore declare that I have examined this declaration and, to the best of my knowledge and belief, it is true, correct and complete. By checking this box I certify that a Power of Attorney to represent the seller(s) has been previously recorded or is being recorded simultaneously with the deed to which this form is attached.

5-20-25 Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact
5-20-25 Date Signature (Seller) Indicate if Power of Attorney or Attorney in Fact

LEGAL DESCRIPTION

All that certain Lot, piece or parcel of land, with the buildings and improvements thereon erected, situate, lying and being in the Borough of Demarest, County of Bergen, State of New Jersey:

BEING known and designated as Lots 307, 308 and 309 as shown on a certain map entitled "Map of Villa Sites at Demarest in the Township Harrington, Bergen County, N.J." filed in the Bergen County Clerk's Office on July 19, 1893 as Map No. 642.

BEGINNING at the point of intersection of the northerly line of County Road and the southeasterly line of Lake Road, and from thence running

(1) Along the said northeasterly line of County Road, South 44 degrees 12 minutes 00 seconds East 75.00 feet to a point; thence

(2) North 45 degrees 48 minutes 0 seconds East 100.00 feet to a point; thence

(3) North 44 degrees 12 minutes 00 seconds West 75.00 feet to a point in the said southeasterly line of Lake road; thence

(4) Along the same, South 45 degrees 48 minutes 00 seconds West 100.00 feet to the point and place of beginning.

Tax Lot: 307 Block: 91 Tax Map of the Borough of Demarest, County of Bergen, State of New Jersey

NOTE: Lot and Block shown for informational purposes only.

NOTE FOR INFORMATION ONLY: Mailing Address is 110 County Road, Demarest, NJ 07627-2511

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Stewart Title Guaranty Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.