

KEY MAP
SCALE: 1"=200'

ZONE RESIDENCE (A)

ZONING NOTES

REQUIREMENT	PROVIDED
MIN. LOT AREA	40,000 S.F. / 107,360.23 S.F.
MIN. FRONTAGE	200 FT. / 201.83 FT.
MIN. DEPTH	200 FT. / 282.38 FT.
MIN. FRONT YARD	200 FT. / 322.10 FT.
MIN. REAR YARD	54.10 FT. / 169.66 FT.
MIN. SIDE YARD	25 FT. / 35.31 FT.
MIN. REAR YARD WIDTH	25 FT. / 75.15 FT.
MIN. REAR YARD	50 FT. / 50.19 FT.
MIN. REAR YARD WIDTH	200 FT. / 372.61 FT.
MAX. COVERAGE (BLDG.)	15% / 7.09%
MAX. LIVABLE FLOOR AREA	22.5% / 8.74%
MAX. IMPROVED COVERAGE	30% / 23.66%
MAX. BLDG. HEIGHT	33 FT. / 33.00 FT.
MAX. DRIVEWAY & DWELLING COV.	25% / 13.18%

ACCESSORY STRUCTURE ZONING NOTES

REQUIREMENT	POOL PROVIDED	SPORTS COURT PROVIDED	STORAGE PROVIDED
ORD. 175-198(1) MAX. BLDG. HEIGHT	12 FT.	N/A	N/A
ORD. 175-198(2) MIN. SIDE YARD	10 FT.	137.17 FT. (1)	25.00 FT.
ORD. 175-198(3) MIN. REAR YARD	10 FT.	106.25 FT. (1)	149.38 FT. (1)
ORD. 175-198(4) MIN. FRONT YARD	50 FT.	127.26 FT. (1)	10.00 FT. (1)
ORD. 175-198(5) PERMITTED IN REAR YARD	YES	YES (1)	YES (1)

(1) REQUESTING ZONING INTERPRETATION. ZONING ORDINANCE DOES NOT ADDRESS THRU LOTS.

AVERAGE FRONT YARD CALCS (DUCK POND ROAD)

15 DUCK POND ROAD	58.20 FT.
19 DUCK POND ROAD	50.00 FT.
AVG. FRONT YARD	54.10 FT.

BUILDING COVERAGE CALCULATIONS

FOOTPRINT	= 6,831 S.F.
COVERED DRIVEWAY	= 604 S.F.
STORAGE	= 180 S.F.
TOTAL BLDG. COVERAGE	= 7,615 S.F./107,360.23 S.F. = 7.09%

LIVABLE FLOOR AREA CALCULATIONS

1st FLOOR	= 4,858 S.F.
2nd FLOOR	= 4,525 S.F.
TOTAL	= 9,383 S.F./107,360.23 S.F. = 8.74%

IMPROVED COVERAGE CALCULATIONS

BUILDING COVERAGE	= 7,615 S.F.
DRIVEWAY	= 7,320 S.F.
PATIOS & STEPS	= 3,053 S.F.
A/C UNITS & GENERATOR	= 77 S.F.
WALLS	= 400 S.F.
POOL & EQUIP.	= 888 S.F.
PERVIOUS SPORTS COURT	= 6,050 S.F.
TOTAL IMPROVED	= 25,403 S.F./107,360.23 S.F. = 23.66%

DRIVEWAY & DWELLING CALCULATIONS

MAIN BUILDING COV.	= 6,831 S.F.
DRIVEWAY	= 7,320 S.F.
TOTAL	= 13,156 S.F./107,360.23 S.F. = 13.18%

GENERAL NOTES

- TOTAL LOT AREA = 107,360.23 S.F. (2.465 Ac.)
- ELEVATIONS BASED ON NVD 1929.
- MAX. BLDG. COVERAGE = 107,360.23 S.F. x 0.15 = 16,104 S.F.
MAX. LIVABLE AREA = 107,360.23 S.F. x 0.225 = 24,156 S.F.
MAX. IMPROVED COVERAGE = 107,360.23 S.F. x 0.23 = 24,693 S.F.
- EXISTING IMPROVED AREA = 8,027 S.F.
PROPOSED IMPROVED AREA = 19,333 S.F.
INCREASE = 11,316 S.F.

ACCESSORY BUILDING HEIGHT CALC'S SCHEMATIC

AVG. NATURAL GRADE	EL. 155.23
MD-ROOF ELEVATION	EL. 167.23
MAX. ACC. BLDG HT.	12.00 FT.

BUILDING HEIGHT CALC'S

AVG. NATURAL GRADE	EL. 155.02
MD-ROOF ELEVATION	EL. 189.02
MAX. BLDG HT.	33.00 FT.

LEGEND

----- PROPOSED MODULAR BLOCK WALL

REFERENCES

- A CERTAIN MAP ENTITLED "SUBDIVISION PLAT, MAP NO. 2, BEECHWOOD FARMS, BOROUGH OF ALPINE AND BOROUGH OF DEMAREST, BERGEN COUNTY, N.J." FILED IN THE BORO AS MAP NO. 5148, BEING LOT 3, IN BLOCK 120A ON SAID MAP.
- BOROUGH OF DEMAREST TAX MAPS.

DRAWING INDEX

1 of 4 4021.1-1	SITE PLAN
2 of 4 4021.1-2	SOIL EROSION & SEDIMENT CONTROL PLAN
3 of 4 4021.1-3	DETAILS
4 of 4 4021.1-4	EXISTING CONDITIONS PLAN
1 of 1 4021.1-7	LIGHTING PLAN

REVISIONS

NO.	REVISIONS	DATE	BY	CHKD.
2	MODIFIED SPORTS COURT AND DRAINAGE	4-15-25	B.W.	M.J.H.
1	REVISED DRAINAGE, ADDED DWGS. 2-4	10-4-24	B.W.	M.J.H.

SITE PLAN

LOT 3.01 PROPOSED DWELLING No. 17 DUCK POND ROAD

BOROUGH OF DEMAREST BERGEN COUNTY NEW JERSEY

APPLICANT: TOMER EDRY
17 DUCK POND ROAD
DEMAREST, NJ 07627

ROBERT J. MUELLER
PROFESSIONAL LAND SURVEYOR
N.J.L.S. NO. 37206

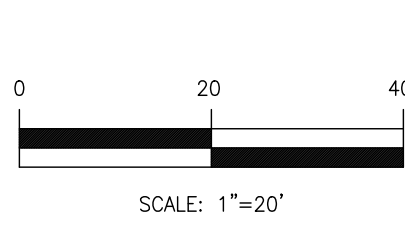
MICHAEL J. HUBSCHMAN P.E., P.P.
PROFESSIONAL ENGINEER AND PLANNER
N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

HUBSCHMAN ENGINEERING, P.A.
ENGINEERS - PLANNERS - SURVEYORS
2638 S. WASHINGTON AVE., BERGENFIELD, NJ 07621
201-384-5666

DRAWN BY: B.W.
CHKD BY: M.J.H.
SCALE: 1"=20'
DRAWING NO.: 4021.1-1
REV.: 1

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7-24-24

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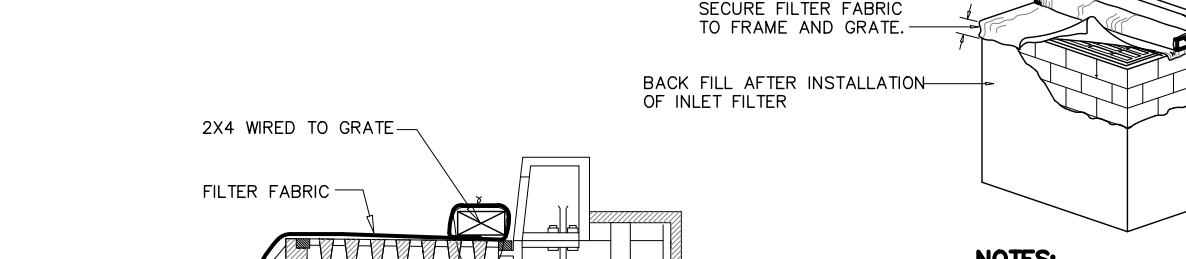
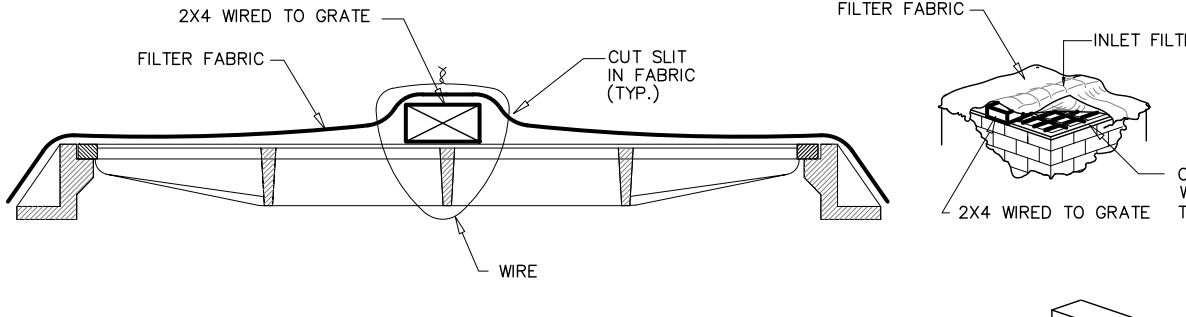
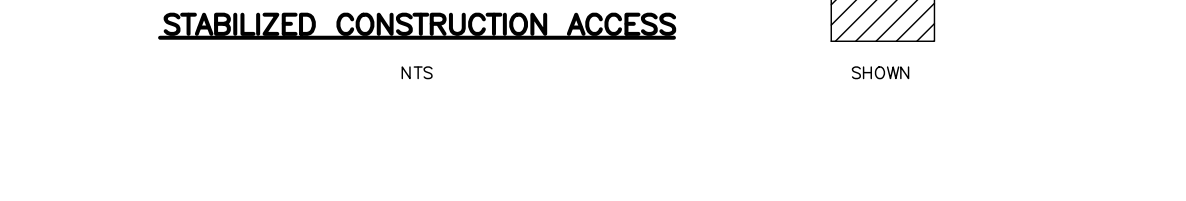
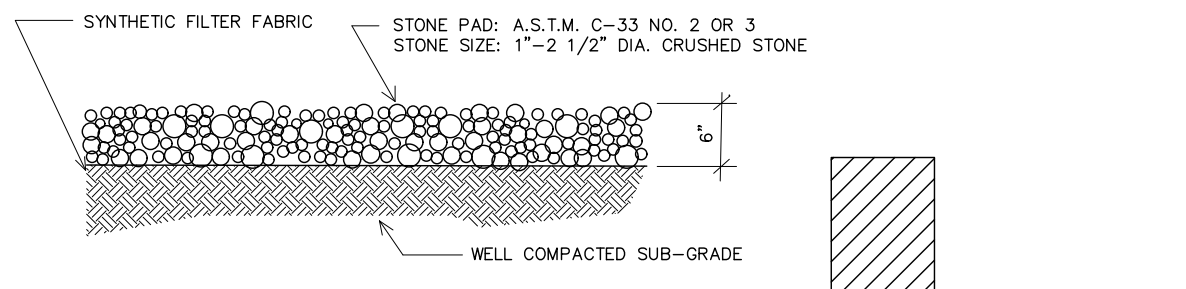
BERGEN COUNTY SOIL CONSERVATION DISTRICT

SOIL EROSION AND SEDIMENT CONTROL NOTES

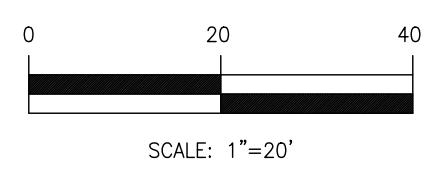
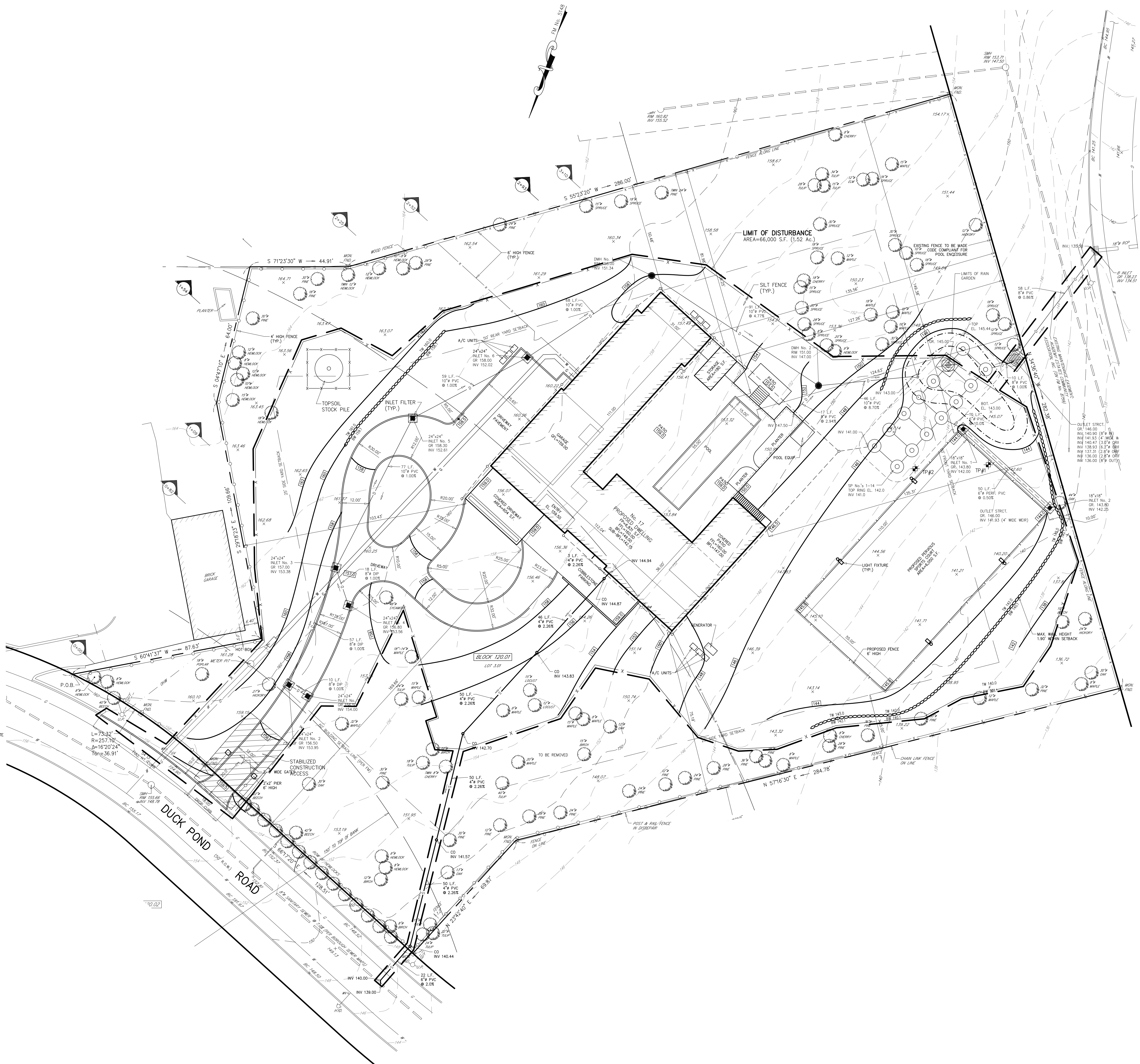
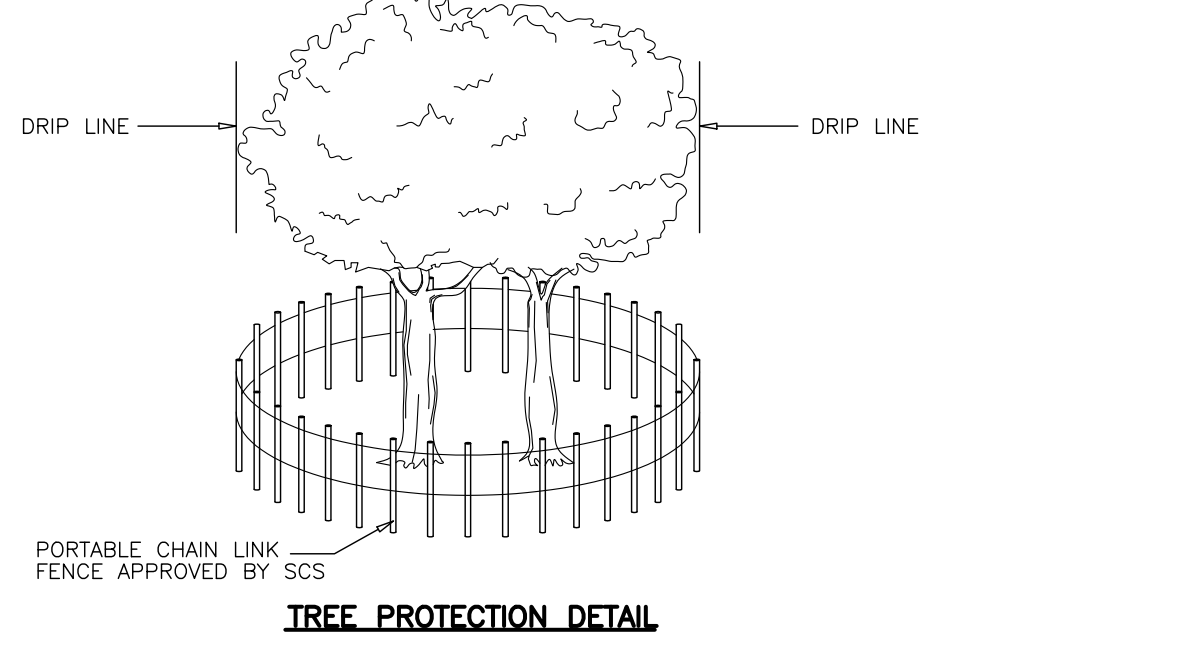
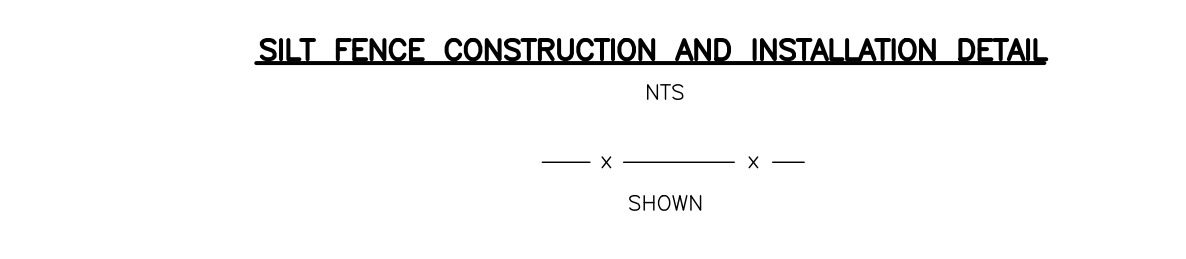
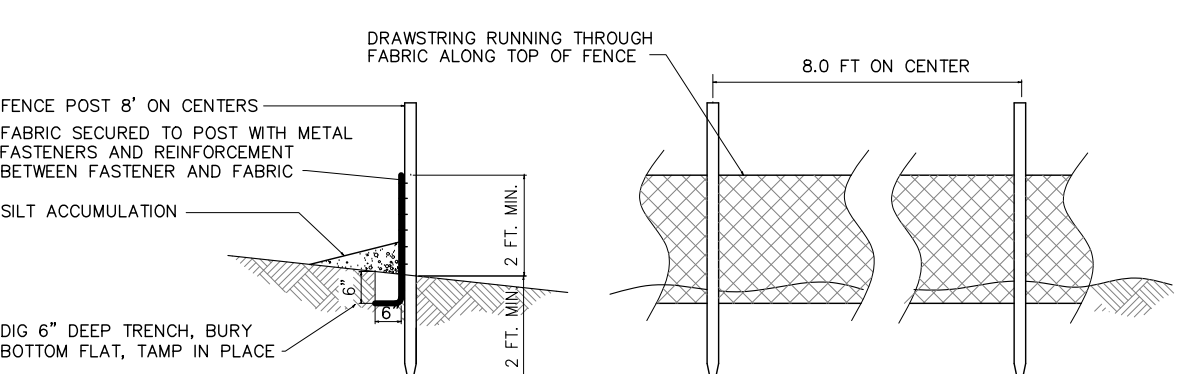
1. All soil erosion and sediment control practices will be installed in accordance with the Standards for Soil Erosion and Sediment Control in New Jersey (NJ Standards), and will be installed in proper sequence and maintained until permanent stabilization is established.
2. Any disturbed area that will be left exposed for more than thirty (30) days and not subject to construction traffic shall immediately receive a temporary seeding and mulching. If the exposed area is to be seeded, the seed shall be applied at a rate of 2 tons per acre anchored by approved methods (i.e. peg and straw, mulch, netting, or liquid mulch binder).
3. Immediately following initial disturbance or rough grading, all critical areas subject to erosion will receive a temporary seeding in combination with straw mulch or a suitable equivalent, at a rate of 2 tons per acre, according to the NJ Standards.
4. **Stabilization Specifications**
 - A. Temporary Seeding and Mulching
 - Ground Liner - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 150,000 lb of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Seed - general purpose 100 lbs./acre (2.3 lbs./1,000 sq ft) or other approved seeds; start between March 1 and May 15 or between August 15 and October 1.
 - Mulch - Unkilled straw or hay at a rate of 70 to 90 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch binder).
 - B. Permanent Seeding and Mulching
 - Topsoil - A uniform application to an average depth of 2", minimum of 4" if amended in place is required.
 - Ground Liner - Applied uniformly according to soil test recommendations.
 - Fertilizer - Apply 150,000 lb of 10-20-10 or equivalent with 50% water insoluble nitrogen (unless a soil test indicates otherwise) worked into the soil to a minimum of 4".
 - Seed - 100 lbs./acre (2.3 lbs./1,000 sq ft) approved 100 lbs./acre (2.3 lbs./1,000 sq ft) or other approved seeds; start between March 1 and October 1.
 - Mulch - Unkilled straw or hay at a rate of 70 to 90 lbs./1,000 sq ft applied to achieve 95% soil surface coverage. Mulch shall be anchored by approved methods (i.e. peg and straw, mulch netting, or liquid mulch binder).
5. The site shall at all times be graded and maintained such that all Stormwater runoff is diverted to soil erosion and sediment control facilities.
6. Soil erosion and sediment control measures will be inspected and maintained on a regular basis, including after every storm event.
7. Sloppings are not to be located within 50' of a footpath, slope, roadway or drainage facility. The base of all stockpiles shall be contained by a fabric sediment barrier or all fence.
8. A crushed stone, wheel-cleaning device shall be installed wherever a construction access road intersects any paved roadway. Said blanket will be composed of 1" - 2" crushed stone, 6" thick, will be at least 30' x 100' and shall be underlain with a suitable synthetic sediment filter fabric and maintained.
9. Maximum side slopes of all exposed surfaces shall not exceed 3:1 unless otherwise approved by the District.
10. Ditchways must be stabilized with 1" - 2" crushed stone or subsoil prior to individual lot construction.
11. All all material, equipment, applied or tracked outside the limit of disturbance or onto public right-of-ways, will be removed immediately. Paved roadways must be kept clean at all times.
12. Catch basin inlets will be protected with an inlet filter designed in accordance with Section 28-1 of the NJ Standards.
13. Storm drainage outlets will be stabilized, as required, before the discharge points become operational.
14. Dewatering operations must discharge directly into a sediment control bag or other approved filter in accordance with Section 14-1 of the NJ Standards.
15. Dust shall be controlled via the application of water, calcium chloride or other approved method in accordance with Section 16-1 of the NJ Standards.
16. Trees to remain after construction are to be protected with a suitable fence installed at the dig line or beyond in accordance with Section 9-1 of the NJ Standards.
17. The project owner shall be responsible for any erosion or sedimentation that may occur before stormwater outfalls or off-site as a result of construction of the project.
18. Any violation to the certified Soil Erosion and Sediment Control Plan must be submitted to the District for review and approval prior to implementation in the field.
19. A copy of the certified Soil Erosion and Sediment Control Plan must be available at the project site throughout construction.
20. The Bergen County Soil Conservation District must be notified, in writing, at least 48 hours prior to any land disturbance. Bergen County SOCD, 700 Rockaway Road, Suite 508, Orange, NJ 07050. Tel: 201-462-4400 Fax: 201-201-7025.
21. The Bergen County Soil Conservation District may request additional measures to minimize on- or off-site erosion problems during construction.
22. The owner must obtain a District issued report of compliance prior to the issuance of any certificate of occupancy. The District requires at least one week notice to facilitate the availability of all report of compliance inspections. All site work must be completed including temporary/permanent stabilization of all exposed areas, prior to the issuance of a report of compliance by the District.

SEQUENCE OF CONSTRUCTION

1. INSTALL 20'x30' TRACKING BED AT CONSTRUCTION ENTRANCE
2. INSTALL Silt FENCE ALONG PROPERTY SUBJECT TO SOIL EROSION ACCORDING TO PLAN
3. INSTALL INLET FILTER PROTECTION WHERE APPLICABLE
4. REMOVE TOPSOIL AND STOCKPILE
5. PROVIDE ROUGH GRADING FOR SITE
6. EXCAVATE FOR NEW BUILDING, DRIVEWAY, AND UTILITIES
7. CONSTRUCT NEW BUILDING, PROVIDE FOUNDATION BASE
8. CONSTRUCT ON-SITE STORM SEWER, PROVIDE FLOWMETER
9. PROVIDE FINAL GRADING, TOPSOIL REPLACEMENT, AND LANDSCAPING (CUSTOMER TO PROVIDE TOPSOIL TO AN AVERAGE DEPTH OF 3", MINIMUM OF 4" FINED IN PLACE)
10. PROVIDE FINAL FENCING
11. REMOVE SOIL EROSION CONTROL DEVICES AS DIRECTED BY LOCAL AGENCIES



NOTES:
 1. CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM.
 2. CONTRACTOR TO REPLACE FABRIC PRIOR TO FINING.
 3. FILTER WILL SAFELY PASS FLOWS GREATER THAN 1 YEAR 24 HR. STORM.



SOIL EROSION EXEMPTION NOTE:
 THIS PROJECT IS EXEMPT FROM SOIL COMPACTION TESTING AND REMEDIATION AS IT IS IN AN URBAN REDEVELOPMENT AREA.

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 N.J.P.E. NO. 29497 N.J.P.P. NO. 3200

10-4-24
 SHEET

NO.	REVISIONS	DATE	BY	CHKD

SOIL EROSION & SEDIMENT CONTROL PLAN; DETAILS

LOT 3.01 PROPOSED DWELLING 120.01
No. 17 DUCK POND ROAD

BOROUGH OF DEMAREST BERGEN COUNTY NEW JERSEY

APPLICANT: TOMER EDY
 17 DUCK POND ROAD
 DEMAREST, NJ 07627

ENGINEERS - PLANNERS - SURVEYORS
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 201-384-5666

DRAWN BY: B.W.
 CHECKED BY: M.J.H.
 SCALE: 1"=20'
 DRAWING NO. 4021.1-2
 SHEET 4

SMALL-SCALE INFILTRATION BASIN CONSTRUCTION REQUIREMENTS

- DURING CLEARING AND GRADING OF THE SITE, MEASURES MUST BE TAKEN TO ELIMINATE SOIL COMPACTION AT THE LOCATION OF A PROPOSED SMALL-SCALE INFILTRATION BASIN.
- THE LOCATION OF THE PROPOSED SMALL-SCALE INFILTRATION BASIN MUST BE CORRODED OFF DURING CONSTRUCTION TO PREVENT COMPACTION OF THE SUBSOIL BY CONSTRUCTION EQUIPMENT OR STOCKPILES.
- THE USE OF THE LOCATION PROPOSED FOR A SMALL-SCALE INFILTRATION BASIN TO PROVIDE SEDIMENT CONTROL DURING CONSTRUCTION IS DISCOURAGED. HOWEVER, WHEN UNAVOIDABLE, EXCAVATION FOR THE SEDIMENT CONTROL BASIN MUST BE AT LEAST 2 FEET ABOVE THE FINAL DESIGN ELEVATION OF THE BASIN BOTTOM.
- EXCAVATION AND CONSTRUCTION OF A SMALL-SCALE INFILTRATION BASIN MUST BE PERFORMED USING EQUIPMENT PLACED OUTSIDE THE LIMITS OF THE BASIN.
- THE EXCAVATION TO THE FINAL DESIGN ELEVATION OF THE SMALL-SCALE INFILTRATION BASIN BOTTOM MAY ONLY OCCUR AFTER ALL CONSTRUCTION WITHIN THE CONTRIBUTORY DRAINAGE AREA IS COMPLETED AND THE CONTRIBUTORY DRAINAGE AREA IS STABILIZED. IF CONSTRUCTION OF THE SMALL-SCALE INFILTRATION BASIN CAN BE DELAYED, BERMS MUST BE PLACED AROUND THE PERIMETER OF THE BASIN DURING ALL PHASES OF CONSTRUCTION TO DIVERT ALL FLOWS AWAY FROM THE BASIN. THE BERMS MAY NOT BE REMOVED UNTIL ALL CONSTRUCTION WITHIN THE CONTRIBUTORY DRAINAGE AREA IS COMPLETED AND THE AREA IS STABILIZED.
- THE CONTRIBUTORY DRAINAGE AREA MUST BE COMPLETELY STABILIZED PRIOR TO SMALL-SCALE INFILTRATION BASIN USE.
- POST-CONSTRUCTION TESTING MUST BE PERFORMED ON THE AS-BUILT SMALL-SCALE INFILTRATION BASIN IN ACCORDANCE WITH THE CONSTRUCTION AND TEST-CONSTRUCTION OVERSIGHT AND SOIL PERMEABILITY TESTING SECTION IN CHAPTER 12 OF THIS MANUAL. IN-HOUSE AS-BUILT TESTING SHOWS A LOWER DRAIN TIME THAN DESIRED, CORRECTIVE ACTION MUST BE TAKEN. THE DRAIN TIME IS DEFINED AS THE TIME IT TAKES TO FULLY INFILTRATE THE MAXIMUM DESIGN STORM RUNOFF VOLUME THROUGH THE MOST HYDRAULICALLY RESTRICTIVE LAYER.

- SAND LAYER**
- TO ENSURE THAT THE DESIGN PERMEABILITY RATE IS MAINTAINED OVER TIME, A SAND LAYER IS REQUIRED AT THE BOTTOM OF EVERY SURFACE TYPE OF SMALL-SCALE INFILTRATION BASIN.
 - THE MINIMUM DEPTH IS 6 INCHES.
 - THE SAND MUST MEET ALL THE SPECIFICATIONS FOR CLEAN, MEDIUM-AGGREGATE CONCRETE SAND IN ACCORDANCE WITH ASTM M-6 OR ASTM C-33, AS CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NEW JERSEY.
 - THE MAXIMUM PERCENTAGE OF FINES IS 15%.
 - THE MAXIMUM TESTED PERMEABILITY RATE IS 20 INCHES/HR.
 - THE USE OF TOPSOIL AND VEGETATION IS PROHIBITED, IF A VEGETATED BMP IS DESIRED, REFER TO CHAPTER 10.1: BORENTENTION SYSTEMS (LARGE-SCALE) OR CHAPTER 9.7: SMALL-SCALE BORENTENTION SYSTEMS.
 - FILTER FABRIC IS REQUIRED ALONG THE SIDES OF THE SMALL-SCALE INFILTRATION BASIN TO PREVENT THE MIGRATION OF FINE PARTICLES FROM THE SURROUNDING SOIL. FILTER FABRIC MAY NOT BE USED ALONG THE BOTTOM OF THE BASIN BECAUSE IT MAY RESULT IN A LOSS OF PERMEABILITY.

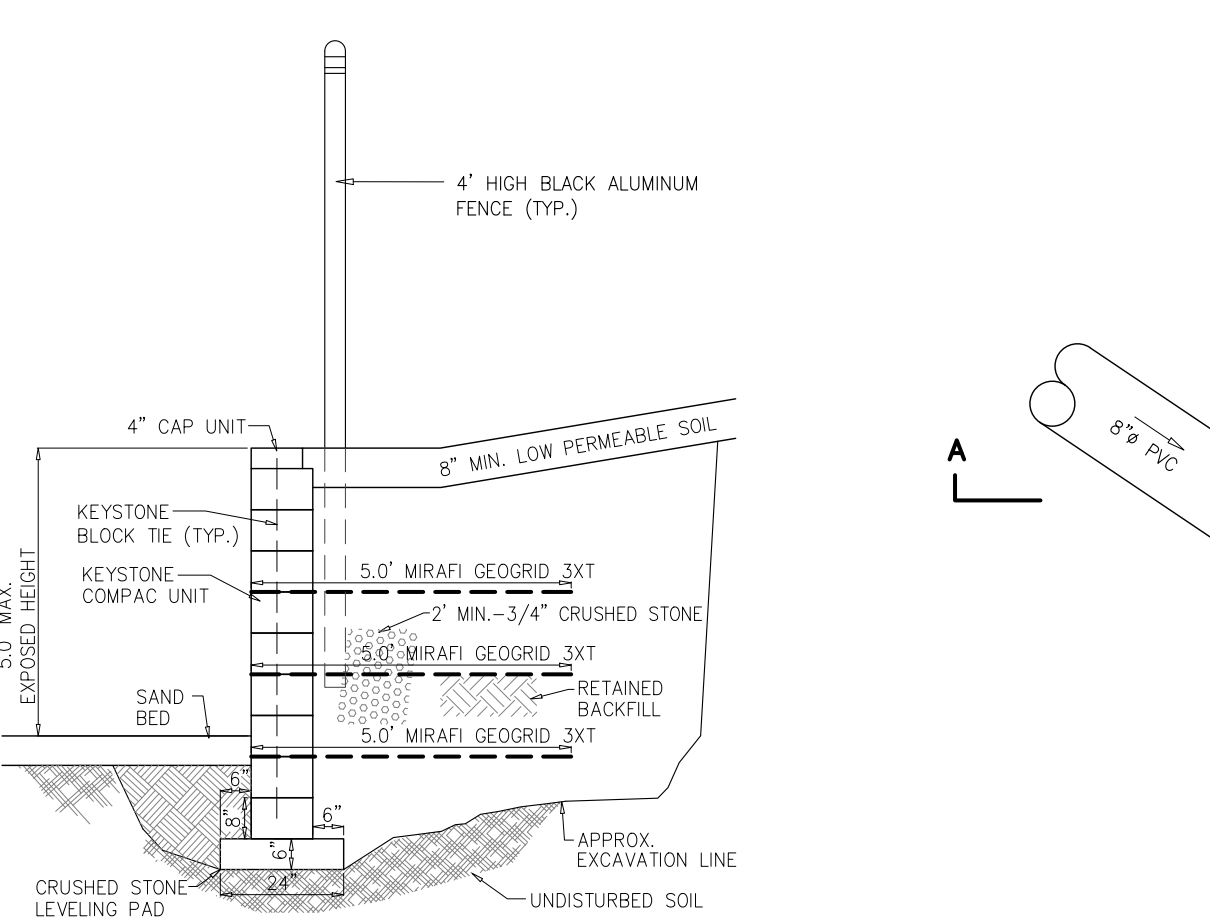
- MAINTENANCE**
- REGULAR AND EFFECTIVE MAINTENANCE IS CRUCIAL TO ENSURE EFFECTIVE SMALL-SCALE INFILTRATION BASIN PERFORMANCE. IN ADDITION, MAINTENANCE PLANS ARE REQUIRED FOR ALL STORMWATER MANAGEMENT FACILITIES ON A MAJOR DEVELOPMENT. THERE ARE A NUMBER OF REQUIRED ELEMENTS IN ALL MAINTENANCE PLANS PERMANENT TO N.J.A.C. 7:8-5.8. THESE ARE DISCUSSED IN MORE DETAIL IN CHAPTER 8: MAINTENANCE OF STORMWATER MANAGEMENT.

- GENERAL MAINTENANCE**
- PROPER AND TIMELY MAINTENANCE IS ESSENTIAL TO CONTINUOUS, EFFECTIVE OPERATION. THEREFORE, ACCESS ROUTE MUST BE INCORPORATED INTO THE DESIGN AND IT MUST BE PROPERLY MAINTAINED.
 - ALL STRUCTURAL COMPONENTS MUST BE INSPECTED, AT LEAST ONCE ANNUALLY, FOR CRACKING, SUBSIDENCE, SPALLING, EROSION AND DETEIORATION.
 - COMPONENTS EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT MUST BE INSPECTED FOR CLOGGINGS AT LEAST FOUR TIMES ANNUALLY, AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL.
 - SEDIMENT REMOVAL SHOULD TAKE PLACE WHEN ALL RUNOFF HAS DRAINED AND THE BASIN IS DRY.
 - DISPOSAL OF DEBRIS, TRASH, SEDIMENT AND OTHER WASTE MATERIAL MUST BE DONE AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
 - ACCESS POINTS FOR MAINTENANCE ARE REQUIRED ON ALL ENCLOSED AREAS WITH A SMALL-SCALE INFILTRATION BASIN. THESE ACCESS POINTS MUST BE CLEARLY IDENTIFIED IN THE MAINTENANCE PLAN. IN ADDITION, ANY SPECIAL TRAINING REQUIRED FOR MAINTENANCE PERSONNEL TO PERFORM SPECIFIC TASKS, SUCH AS COVERED SPACE ENTRY, MUST BE INCLUDED IN THE PLAN.
 - STORMWATER BMPs MAY NOT BE USED FOR STOCKPILING OF PLOWED SNOW AND ICE, COMPOST, OR ANY OTHER MATERIAL.

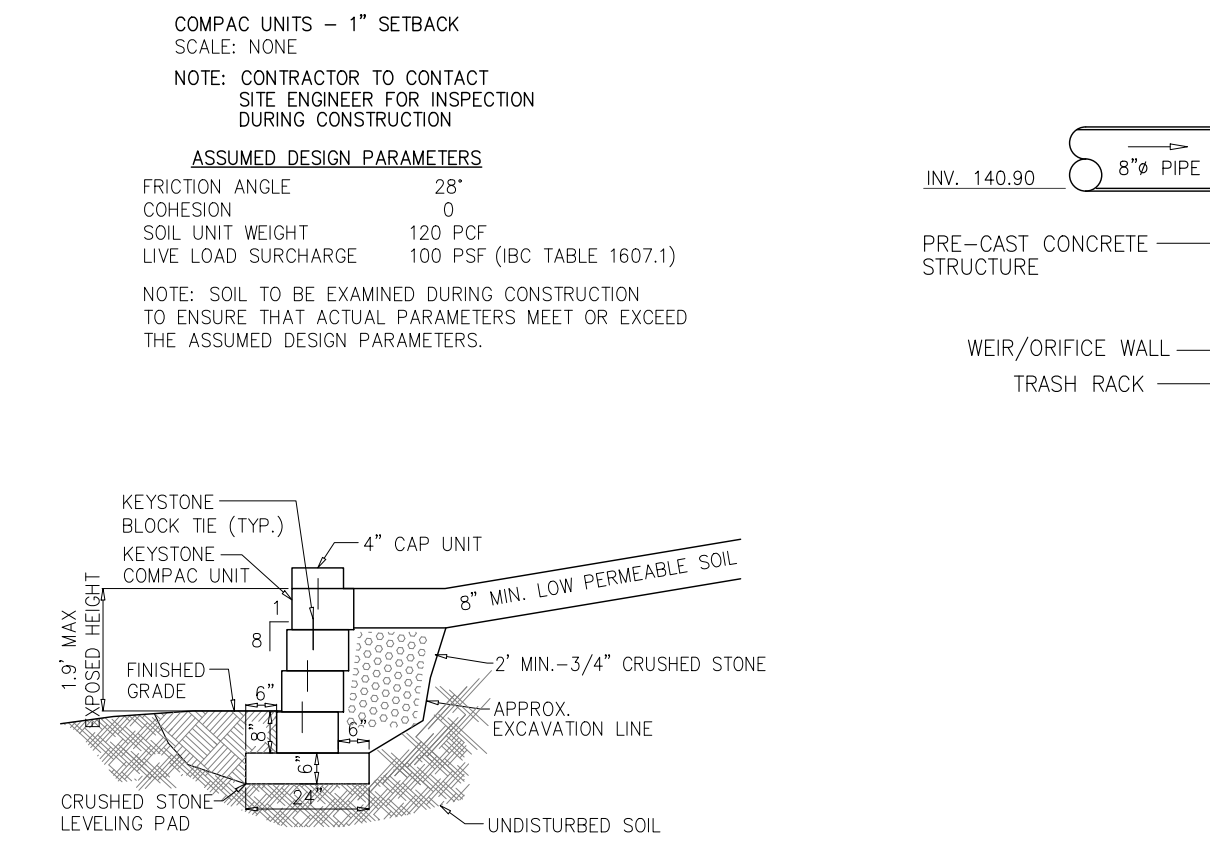
- DRAIN TIME**
- THE BASIN MUST BE INSPECTED AT LEAST TWICE ANNUALLY TO DETERMINE IF THE PERMEABILITY OF THE BASIN HAS DECREASED.
 - THE DESIGN DRAIN TIME FOR THE MAXIMUM DESIGN STORM RUNOFF VOLUME MUST BE INDICATED IN THE MAINTENANCE MANUAL. IF THE ACTUAL DRAIN TIME IS LONGER THAN THE DESIGN DRAIN TIME, THE COMPONENTS MUST BE EVALUATED AND APPROPRIATE MEASURES TAKEN TO RETURN THE SMALL-SCALE INFILTRATION BASIN TO THE ORIGINAL TESTED AS-BUILT CONDITION.
 - IF THE SMALL-SCALE INFILTRATION BASIN FAILS TO DRAIN THE WOODS WITHIN 2 HOURS, CORRECTIVE ACTION MUST BE TAKEN AND THE MAINTENANCE MANUAL REVISED ACCORDINGLY TO PREVENT SIMILAR FAILURES IN THE FUTURE. NOTE THAT ANNUAL TILLING OF THE SAND LAYER, USING LIGHTWEIGHT EQUIPMENT, MAY ASSIST IN MAINTAINING THE INFILTRATION CAPACITY OF A SURFACE TYPE SYSTEM BY BREAKING UP CLOGGED SURFACES.

SEQUENCE OF WORK IN SMALL-SCALE INFILTRATION BASIN

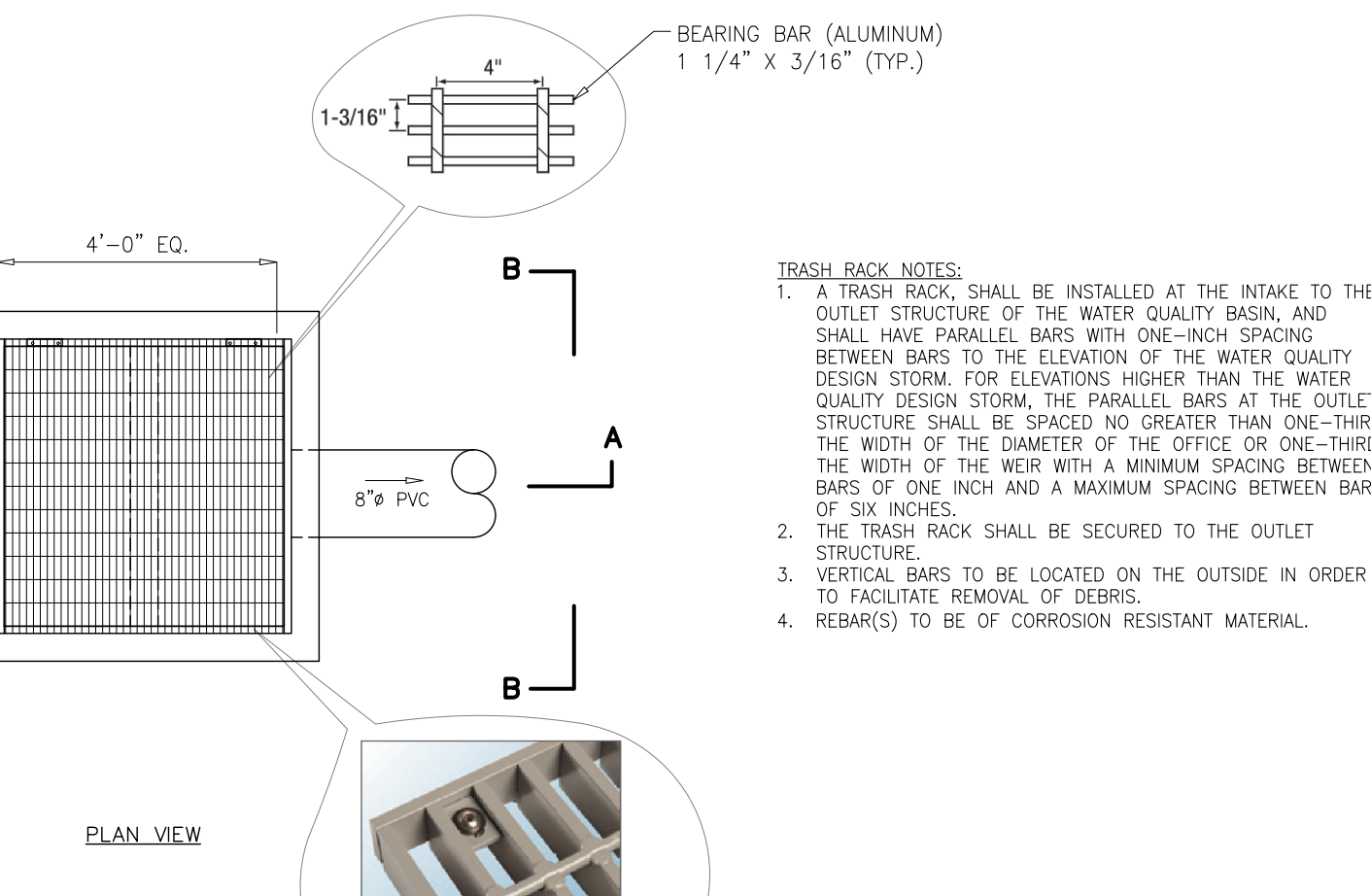
- REMOVE ALL SILT AND DEBRIS FROM BASIN. EXCAVATE TO SUBGRADE.
- EXCAVATE FOR NEW BASIN WITH THE USE OF LIGHT EQUIPMENT TO LIMIT SOIL COMPACTION. CONSTRUCT NEW WALLS.
- CONSTRUCT OUTLET STRUCTURE.



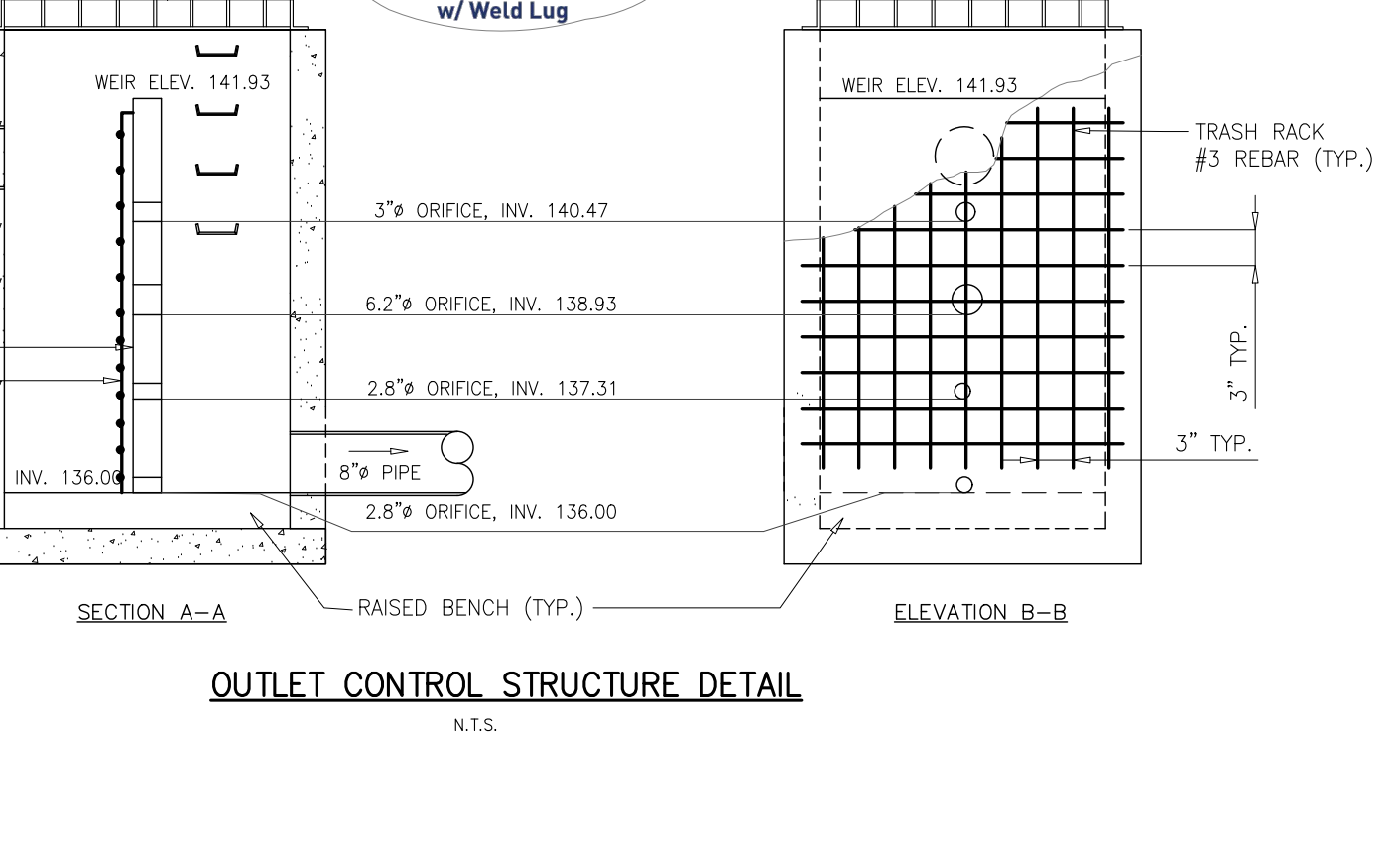
5.0' KEYSTONE RETAINING WALL DETAIL TYPICAL REINFORCED SECTION



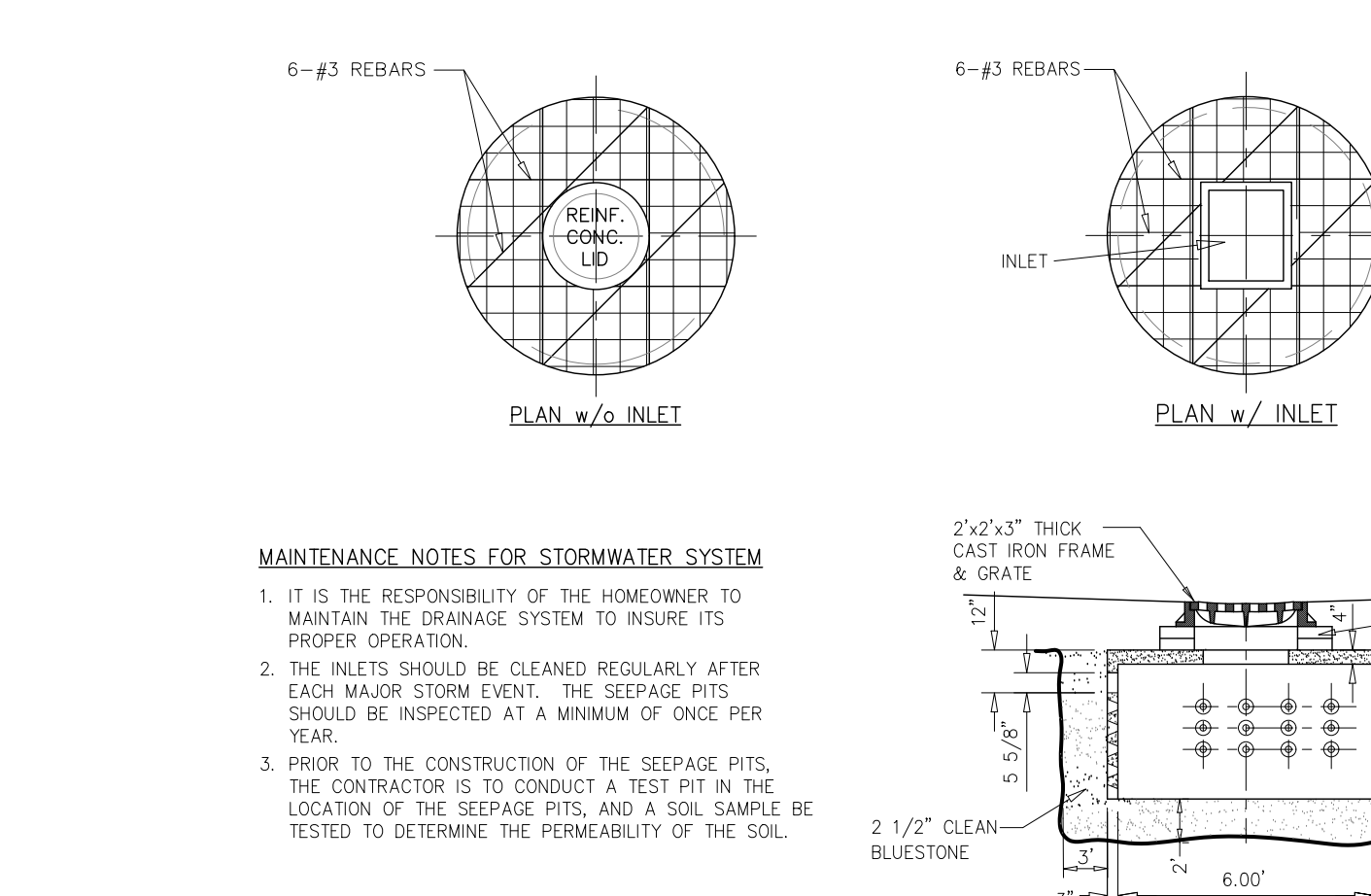
1.9' KEYSTONE RETAINING WALL DETAIL TYPICAL REINFORCED SECTION



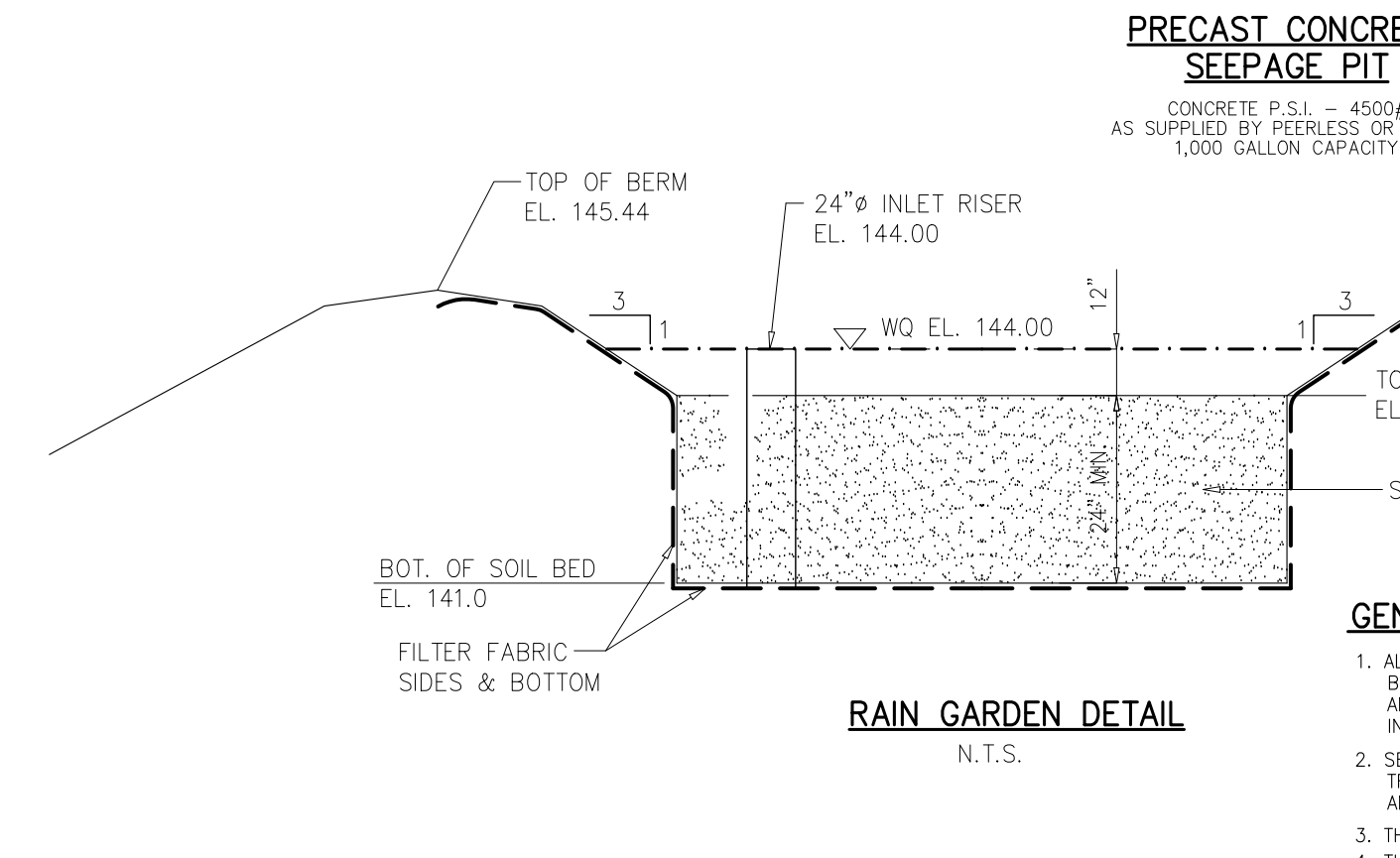
OUTLET CONTROL STRUCTURE DETAIL



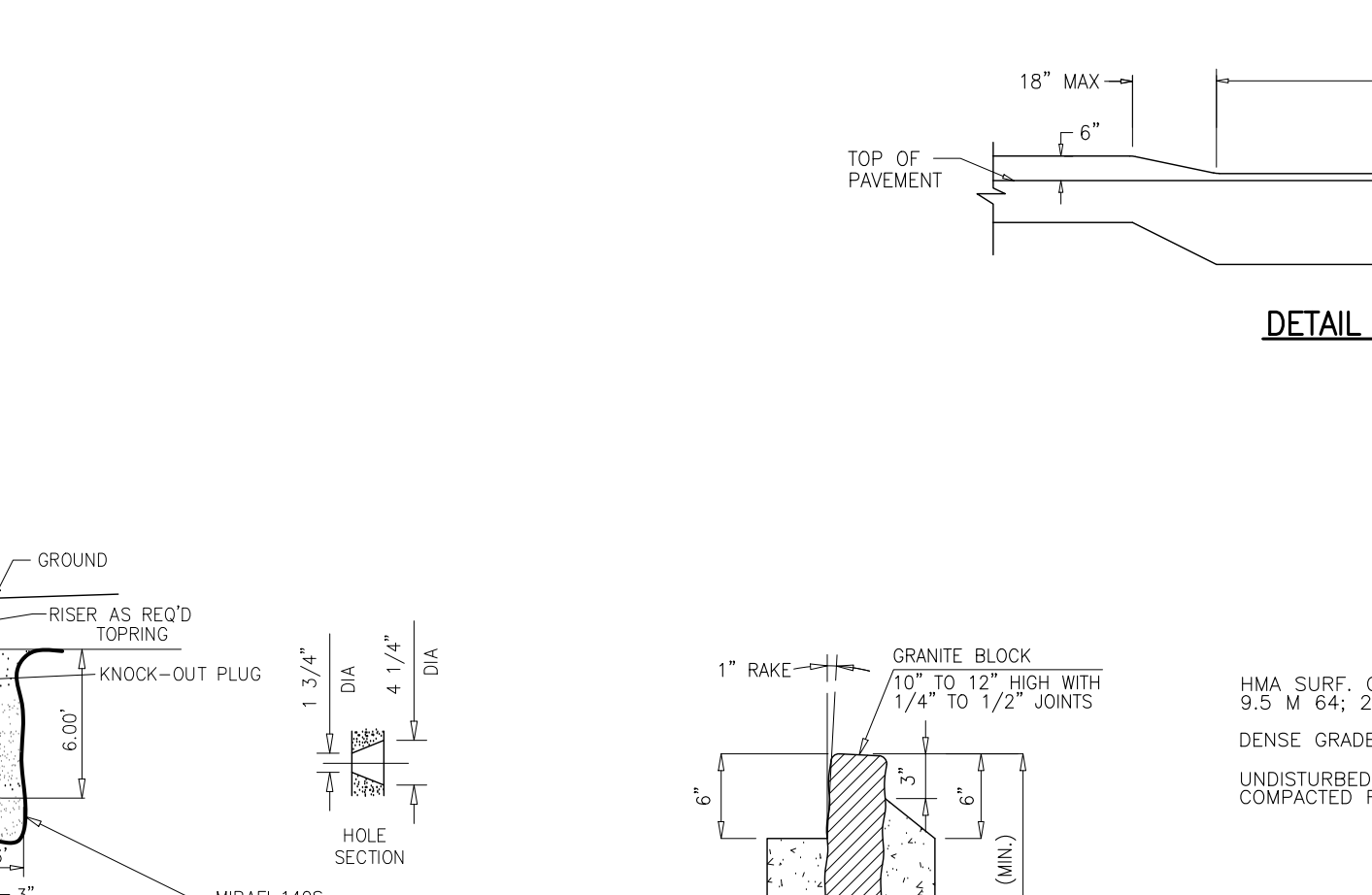
RAIN GARDEN DETAIL



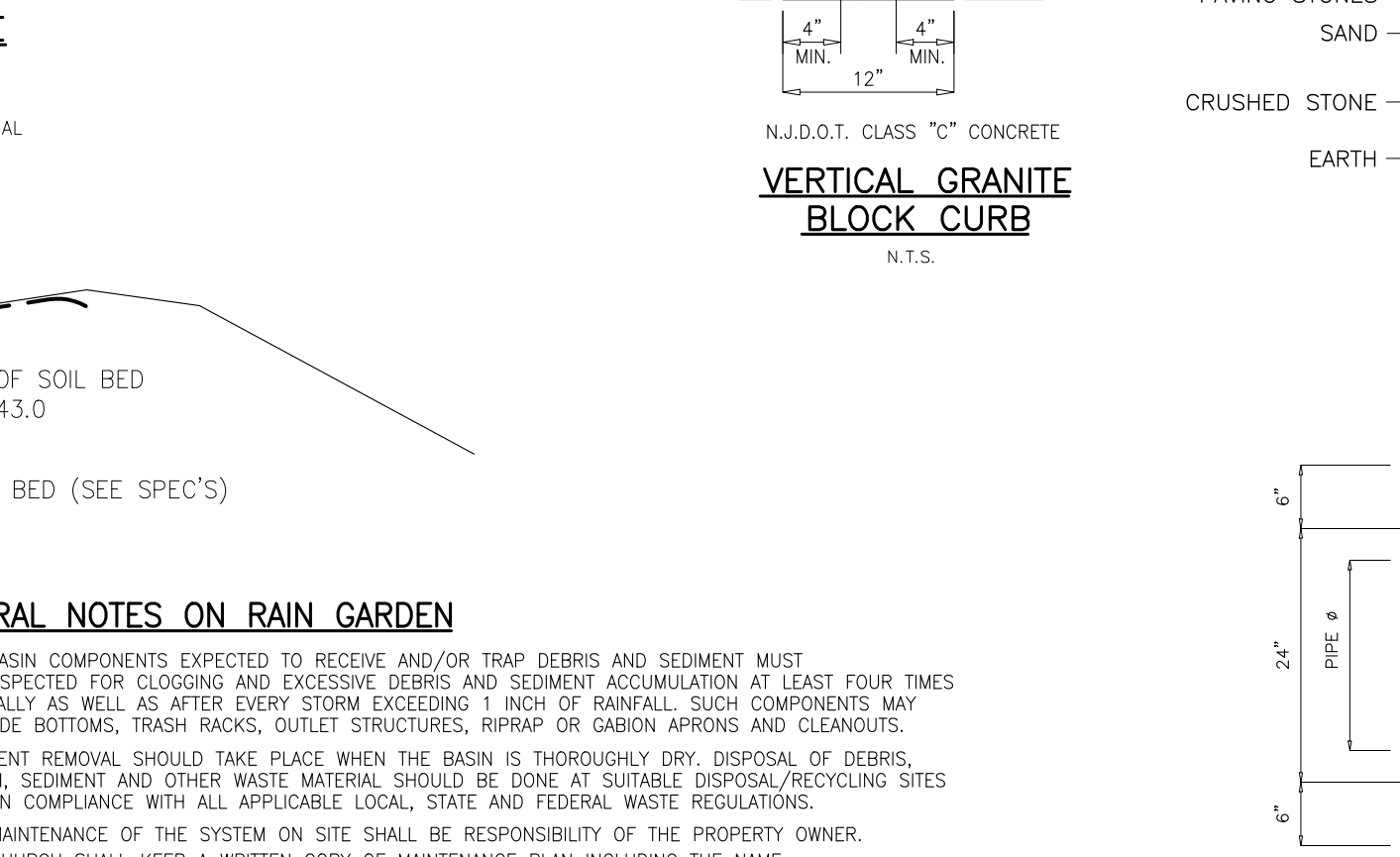
PRECAST CONCRETE SEEPAGE PIT



VERTICAL GRANITE BLOCK CURB



PAVING DETAIL (FOR DRIVEWAY)



PAVER DETAIL

GENERAL NOTES ON RAIN GARDEN

- ALL BASIN COMPONENTS EXPECTED TO RECEIVE AND/OR TRAP DEBRIS AND SEDIMENT MUST BE INSPECTED FOR CLOGGING AND EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR TIMES ANNUALLY AS WELL AS AFTER EVERY STORM EXCEEDING 1 INCH OF RAINFALL. SUCH COMPONENTS MAY INCLUDE BOTTOMS, TRAP BACKS, OUTLET STRUCTURES, HRRAP OR GABION ARRAYS AND CLEAROUTS.
- SEDIMENT REMOVAL SHOULD TAKE PLACE WHEN THE BASIN IS THOROUGHLY DRY. DISPOSAL OF DEBRIS, TRASH, SEDIMENT AND OTHER WASTE MATERIAL SHOULD BE DONE AT SUITABLE DISPOSAL/RECYCLING SITES AND IN COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL WASTE REGULATIONS.
- THE MAINTENANCE OF THE SYSTEM ON SITE SHALL BE RESPONSIBILITY OF THE PROPERTY OWNER.
- THE CHURCH SHALL KEEP A WRITTEN COPY OF MAINTENANCE PLAN INCLUDING THE NAME, ADDRESS, AND TELEPHONE NUMBER OF THE PARTIES RESPONSIBLE FOR THE MAINTENANCE. WRITTEN MAINTENANCE AND REPAIR RECORDS FOR THE STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED FOR AT LEAST FIVE YEARS, AND SHALL BE PROVIDED TO THE STATE OF NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION UPON REQUEST.
- ALL STRUCTURAL COMPONENTS MUST BE INSPECTED FOR CRACKING, SUBSIDENCE, SPALLING, EROSION AND DETEIORATION AT LEAST ANNUALLY.
- SEE DETAILED OPERATIONS & MAINTENANCE MANUAL FOR STORMWATER MANAGEMENT.

SOIL BED SPECIFICATIONS:

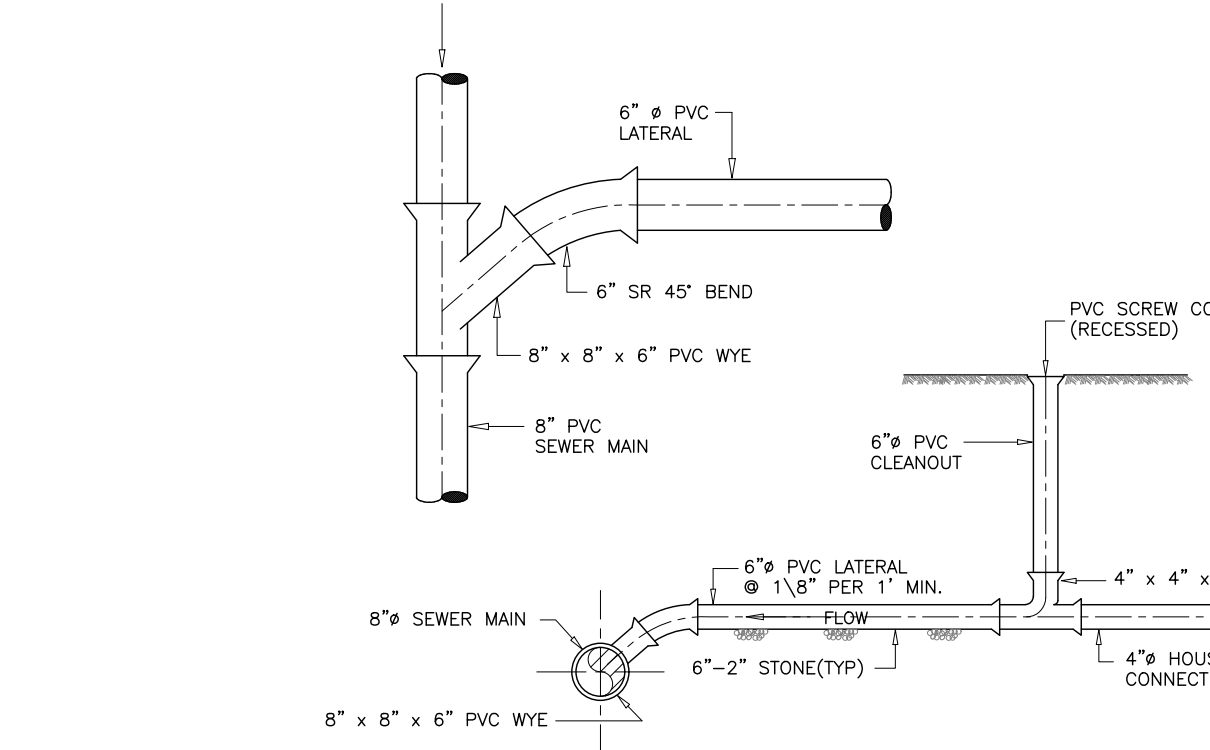
- THE SOIL BED MUST BE A MINIMUM OF 24 INCHES IN DEPTH.
- THE SOIL BED MATERIAL MUST CONSIST OF THE FOLLOWING MIX TO 20% SAND, NO MORE THAN 20% OF THE SAND IS FINE OR VERY FINE SANDS, NO MORE THAN 10% SILT AND CLAY WITH 2% TO 5% CLAY CONTENT. THE ENTIRE MIX MUST THEN BE AMENDED WITH 3 TO 1% ORGANIC BY WEIGHT.
- PRE-MIXED SOIL MUST BE CERTIFIED TO BE CONSISTENT WITH THE REQUIREMENT ABOVE BY EITHER THE VENDOR OR BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY. THE CONTENT OF ANY OIL MIXED ON-SITE MUST BE CERTIFIED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY. IN ADDITION, THE ENGINEER MUST BE PRESENT WHILE THE SOIL IS MIXED.
- THE SOIL BED MATERIAL MUST RANGE FROM 5 TO 6.5.
- THE SOIL BED MATERIAL MUST BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES.
- ADDITIONAL MATERIALS MAY BE NECESSARY TO ACCOUNT FOR SETTLING OVER TIME.

SECTION R326 SWIMMING POOLS, SPAS AND HOT TUBS

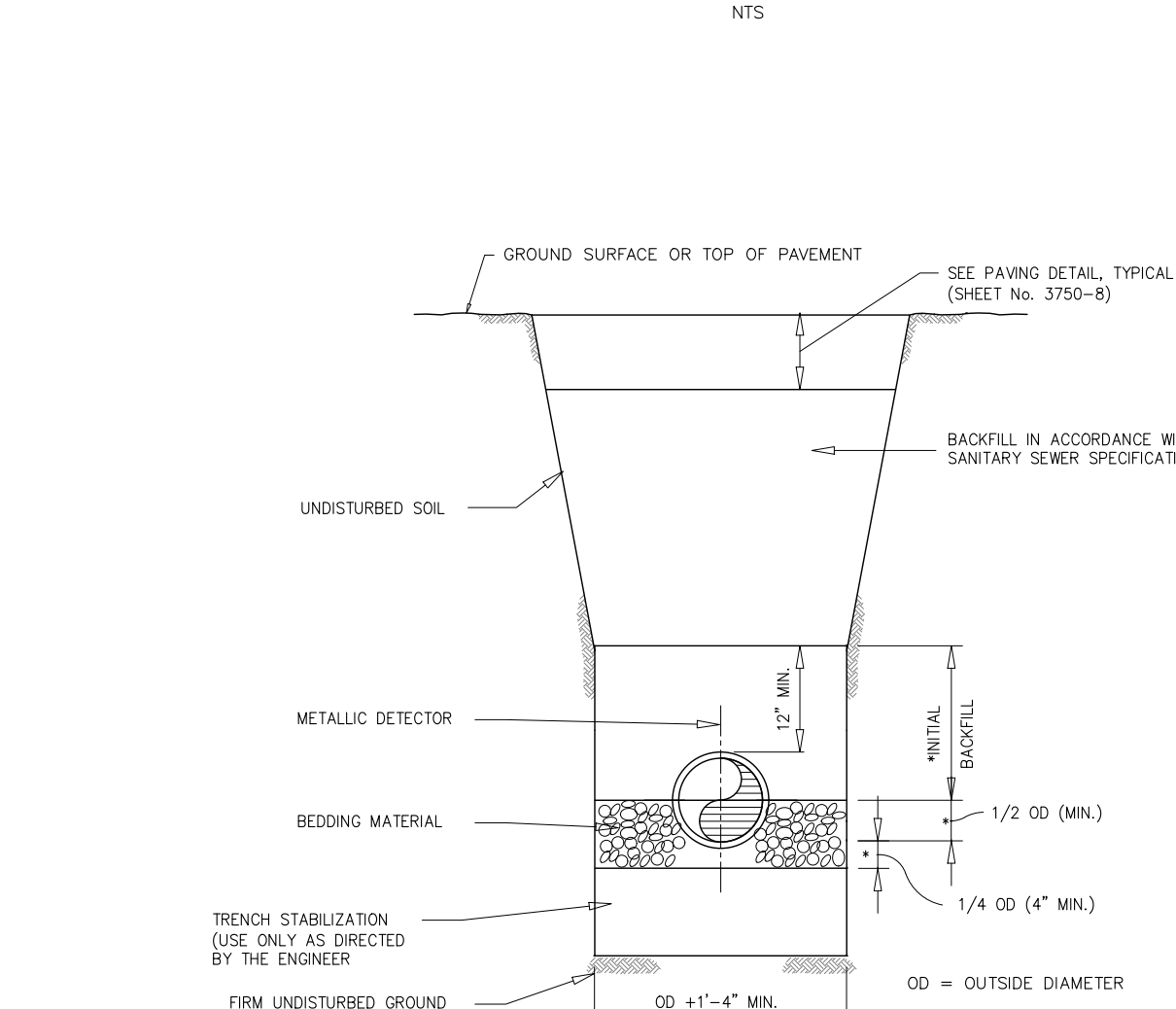
R326.1 General. The design and construction of pools, spas and enclosures shall comply with the *International Swimming Pool and Spa Code*. Amendments to the *International Swimming Pool and Spa Code* shall be as follows:

- Chapter 1, Scope and Administration, shall be deleted in its entirety and "See the administrative provisions of N.J.A.C. 5:23" shall be inserted. In addition, any referenced section of Chapter 1 shall be deleted throughout the code and "the administrative provisions of the Uniform Construction Code (N.J.A.C. 5:23)" shall be inserted.
- Chapter 2, Definitions, shall be amended as follows:
 - In Section 201.3, Terms defined in other codes, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Section 202, Definitions:
 - 2.2.1. The definition of "Alteration" shall be deleted.
 - 2.2.2. The definition of "Code official" shall be deleted and the following shall be inserted: "Construction Official. A qualified person appointed by the municipal appointing authority or the commissioner pursuant to the act and the regulations to enforce and administer the regulations within the jurisdiction of the enforcing agency."
 - 2.2.3. The definition of "Existing pool or spa" shall be deleted.
 - 2.2.4. The definition of "Owner" shall be deleted and the following shall be inserted: "Owner. The owner or owners in fee of the property of a tenor estate therein, a mortgagee or vendee in possession, an assignee of rents, receiver, executor, trustee, lessee or any other person, firm or corporation, directly or indirectly in control of a building, structure or real property and shall include any subdivision thereof of the State."
 - 2.2.5. The definitions of "Permit," and "Repair" shall be deleted.
- Chapter 3, General Compliance, shall be amended as follows:
 - In Section 302.1, Electrical, "or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted.
 - In Section 302.2, Water service drainages, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Sections 302.5, Back flow prevention, and 302.6, Waste-water discharge, "*International Plumbing Code* or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - Section 305, Barrier requirements, shall be amended as follows:
 - 3.4.1. In Section 305.1, General, in the second sentence, "and swimming pools are equipped with a powered safety cover that complies with ASTM F1346" shall be deleted. Also, in the second sentence, "hot tubs or pools" shall be replaced with "or hot tubs."
 - 3.4.2. Section 305.4, Structure wall as a barrier, shall be deleted.
 - 3.4.3. In Section 305.5, On ground residential pool structure as a barrier, in Item 3, "capable of being accessed, locked or removed to prevent access except where the ladder or steps are" shall be deleted.
 - In Section 306.1, General, "in accordance with Section 102.7.1" shall be deleted.
 - Sections 306.3, Step risers and treads, and 306.4, Deck steps handrail required, shall be deleted.
 - In Section 306.9.1, Hose bibs, "*International Plumbing Code* or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Sections 307.1.1, Glazing in hazardous locations, 307.2.2, Materials and structural design, 307.1.3, Roofs or canopies, 316.4, Installation, and 316.6.1, Installation, "in accordance with Section 102.7.1" shall be deleted.
 - In Section 307.9, Accessibility, the last sentence shall be deleted.
 - In Section 318.2, Protection of potable water supply, "*International Residential Code* or the *International Plumbing Code* or, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Section 321.4, Residential pool and deck illumination, "or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted.
- Chapter 4, Public Swimming Pools, shall be amended as follows:
 - In Section 410.1, Dressing and sanitary facilities, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted as follows:
 - 5.1. In Section 601.1, Scope, the following sentence shall be added to the end of the paragraph, "For purposes of enforcement, Class D-2 and Class D-6 public pools shall be regulated by this chapter and N.J.A.C. 5:23; all other Class D public pools shall be regulated by N.J.A.C. 5:14A."
 - 5.2. In Section 609.1, General, "Section 609.2 through 609.9" shall be deleted and "the plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - 5.3. Sections 609.2, Number of fixtures; 609.3, Showers; 609.4, Soap dispensers; 606.5, Toilet tissue holder; 609.6, Lavatory mirror; 606.7, Sanitary napkin receptacles; 609.8, Sanitary napkin dispensers; and 609.9, Infant chair, shall be deleted.

DRAINAGE TRENCH DETAIL



SEWER LATERAL AND CLEANOUT DETAIL



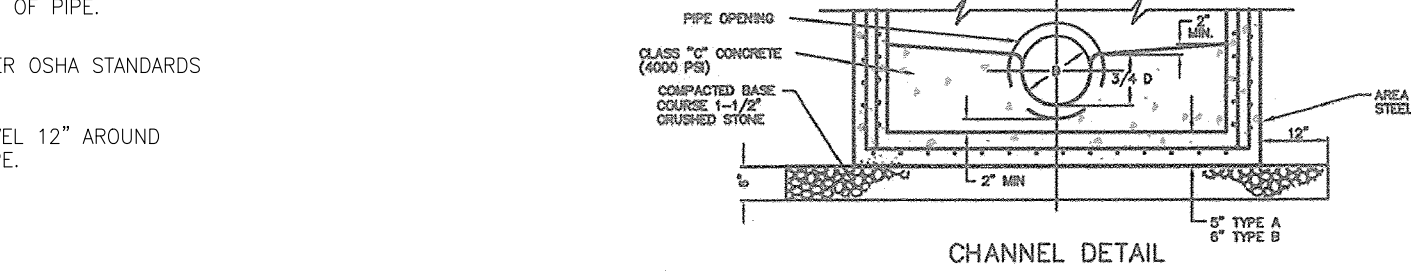
DRAINAGE MANHOLE DETAIL

SDR - 35 PVC SANITARY SEWER TRENCH DETAIL

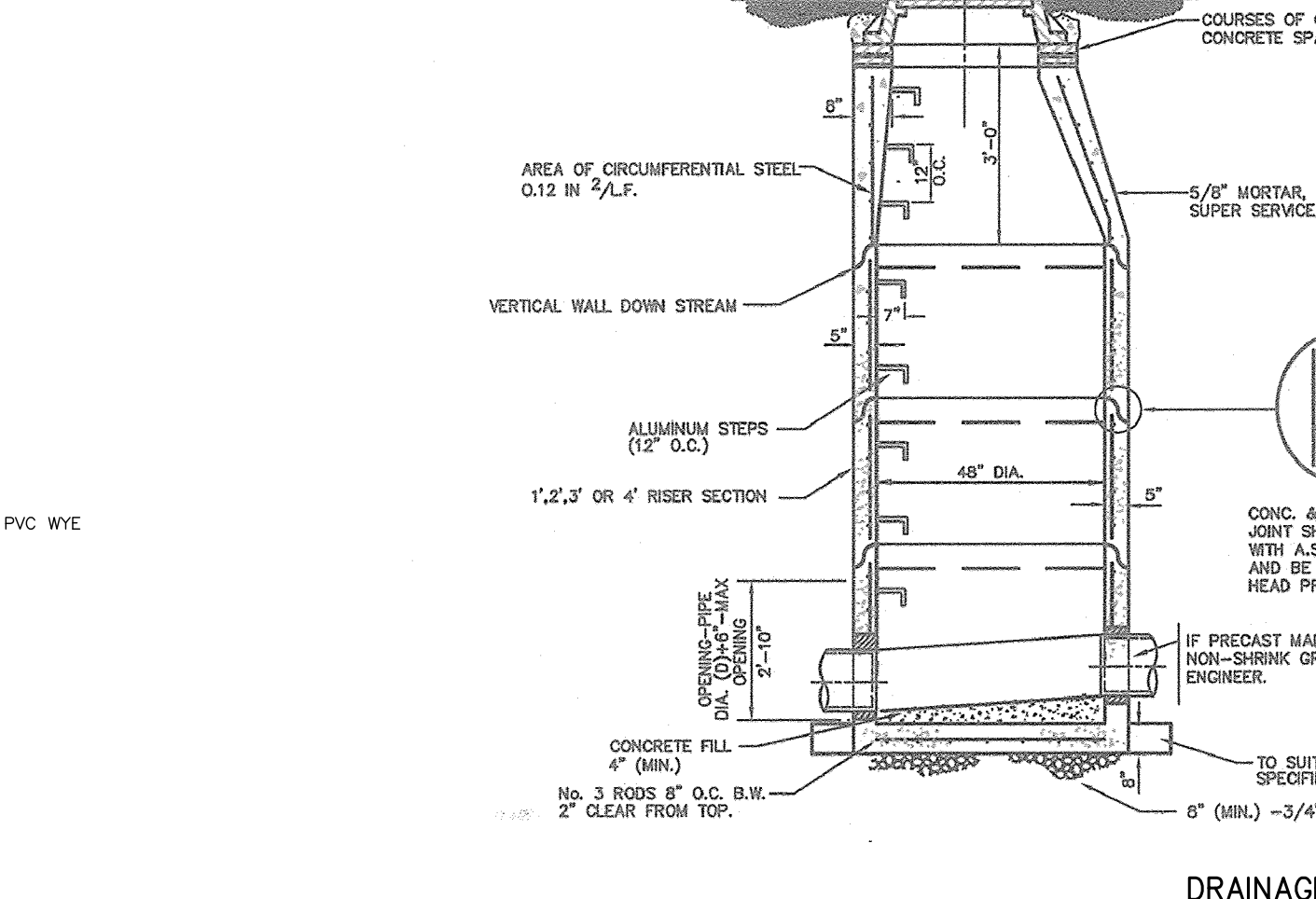
- NOTES**
- INITIAL BACKFILL AND BEDDING MATERIAL SHALL BE SOIL AGGREGATE DESIGNATION 11R CONFORMING TO THE REQUIREMENTS OF ARTICLE 609.09 OF THE 2012 IBC. 90% OF THE STANDARD SPECIFICATIONS 1989 SUPPLEMENT OR ETC. ORIGINALLY TO CONFORM WITH A.A.S.H.T.O. DESIGNATION M-43-14 (1974) (A.S.T.M. DESIGNATION D448-54, SIZE NO. 8, 1/8" TO 5/8" (3.2mm TO 15.25mm) CLEAN, FREE FLOWING AND SHALL MEET ALL A.A.S.H.T.O. C-33 SPECIFICATIONS FOR QUALITY AND SOUNDNESS.
 - INSTALL CLASS 52 D.I.P. WHEN DEPTH OF INSTALLATION EXCEEDS 20'

NOTES

- THIS MANHOLE MAY BE CONSTRUCTED OF CONCRETE OR CONCRETE BLOCK. IF CONCRETE BLOCK IS USED, THE BOTTOM SHALL BE AS SHOWN FOR CONCRETE & THE OUTSIDE OF THE WALLS SHALL BE PLASTERED WITH 1/2" COAT OF 1:2 CEMENT SAND MORTAR. THE INSIDE WALLS JOINTS SHALL BE STRUCK & POINTED.
- PROVIDE 7/8" DIA. X 7' X 12" ALUMINUM LADDER RUNGS, 12" O.C.
- WHEN DEPTH IS GREATER THAN 12' THE WALLS SHOULD BE EITHER 6" CONCRETE OR 6" CONCRETE BLOCK AND THE FOOTING SHALL BE EXTENDED TO 12" BEYOND THE OUTSIDE WALLS.
- WHEN PRECAST STRUCTURES ARE USED, CLEAN STONE SHALL BE PLACED AGAINST STRUCTURE TO A DEPTH OF 8".



CHANNEL DETAIL



FENCE DETAIL FOR SPORTS COURT

FENCE HEIGHT	END & CORNER POSTS		LINE POSTS	
	B-1	H-1	B-2	H-2
NOMINAL HEIGHT	BARB WIRE	HIGHT ABOVE GRADE	BARB WIRE	HIGHT ABOVE GRADE
4'-0" (1200MM)	6'-0" (1830MM)	5'-0" (1525MM)	7'-0" (2130MM)	4'-0" (1215MM)
4'-6" (1380MM)	6'-0" (1830MM)	4'-6" (1380MM)	8'-0" (2430MM)	4'-6" (1380MM)
5'-0" (1525MM)	6'-0" (1830MM)	5'-0" (1525MM)	9'-0" (2730MM)	4'-6" (1380MM)
5'-6" (1675MM)	6'-0" (1830MM)	5'-6" (1675MM)	10'-0" (3030MM)	4'-6" (1380MM)
6'-0" (1830MM)	6'-0" (1830MM)	6'-0" (1830MM)	11'-0" (3330MM)	4'-6" (1380MM)
6'-6" (1980MM)	6'-0" (1830MM)	6'-6" (1980MM)	12'-0" (3630MM)	4'-6" (1380MM)
7'-0" (2130MM)	6'-0" (1830MM)	7'-0" (2130MM)	13'-0" (3930MM)	4'-6" (1380MM)
7'-6" (2280MM)	6'-0" (1830MM)	7'-6" (2280MM)	14'-0" (4230MM)	4'-6" (1380MM)
8'-0" (2430MM)	6'-0" (1830MM)	8'-0" (2430MM)	15'-0" (4530MM)	4'-6" (1380MM)
8'-6" (2580MM)	6'-0" (1830MM)	8'-6" (2580MM)	16'-0" (4830MM)	4'-6" (1380MM)
9'-0" (2730MM)	6'-0" (1830MM)	9'-0" (2730MM)	17'-0" (5130MM)	4'-6" (1380MM)
9'-6" (2880MM)	6'-0" (1830MM)	9'-6" (2880MM)	18'-0" (5430MM)	4'-6" (1380MM)
10'-0" (3030MM)	6'-0" (1830MM)	10'-0" (3030MM)	19'-0" (5730MM)	4'-6" (1380MM)
10'-6" (3180MM)	6'-0" (1830MM)	10'-6" (3180MM)	20'-0" (6030MM)	4'-6" (1380MM)
11'-0" (3330MM)	6'-0" (1830MM)	11'-0" (3330MM)	21'-0" (6330MM)	4'-6" (1380MM)
11'-6" (3480MM)	6'-0" (1830MM)	11'-6" (3480MM)	22'-0" (6630MM)	4'-6" (1380MM)
12'-0" (3630MM)	6'-0" (1830MM)	12'-0" (3630MM)	23'-0" (6930MM)	4'-6" (1380MM)

MASTER HALCO

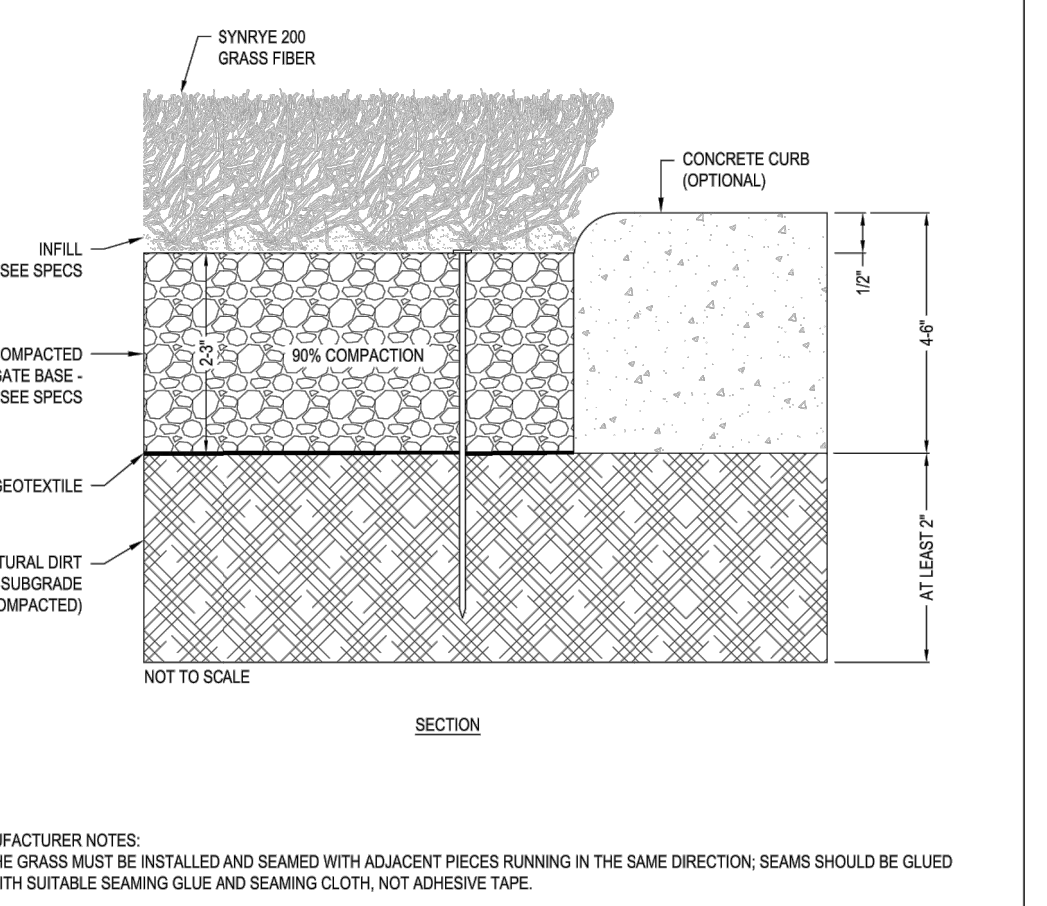
3010 Lynch Rd. Delaware Park, NJ 08040
 (908) 719-2334
 www.masterhalco.com
 Phone No. 800-858-8388

DATE: 09-29-20
 REV: 01
 HW DATE: 09-23-18

SCALE: 1"=20'
 LABEL: 1
 SHEET: 10F-10'

SYNLAWN®

2880 ABUTMENT ROAD SE
 DALTON, GA 30721
 TOLL FREE: 1-866-SYNLAWN
 FAX: (706) 277-1128
 www.synlawn.com

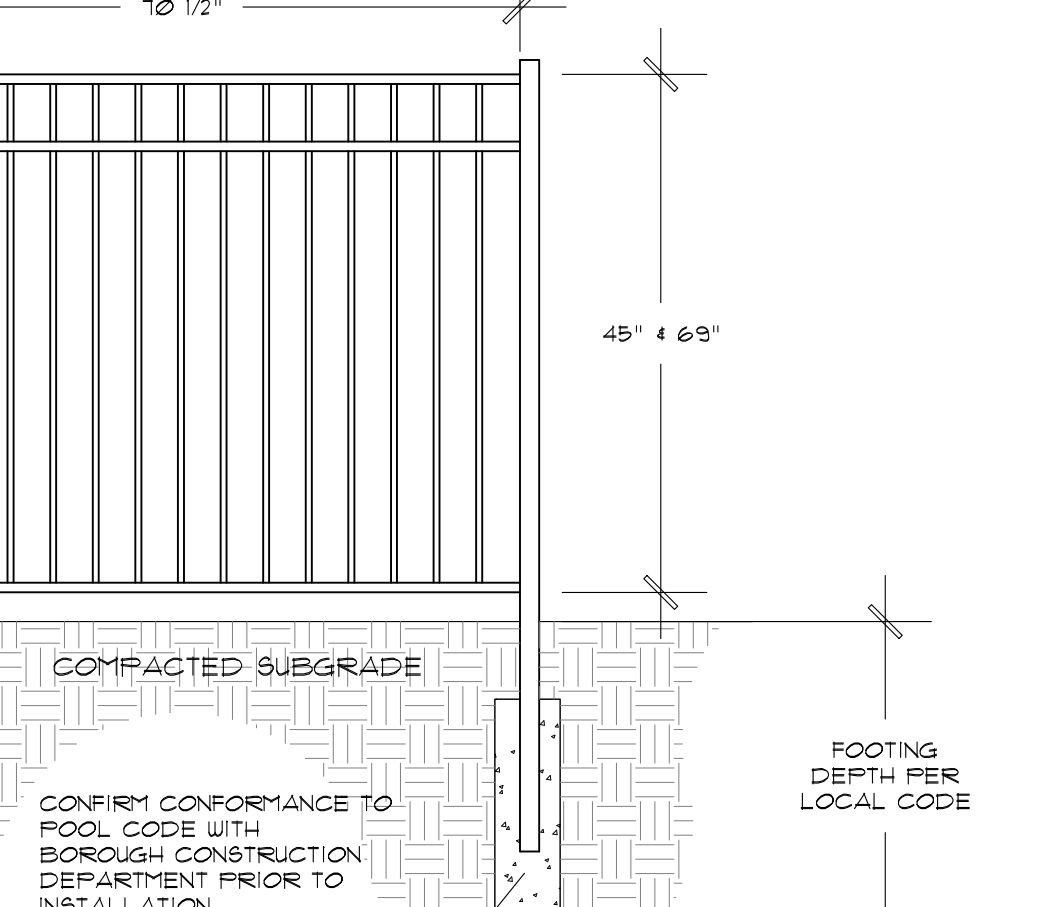


LAWN AND LANDSCAPE SYSTEM

MANUFACTURER NOTES

- THE GRASSMATS BE INSTALLED AND SEAMED WITH ADHESIVE PRESS RUNNING IN THE SAME DIRECTION. SEAMS SHOULD BE GLED WITH SUITABLE GRASSING GLUE AND SEAMING CLOTHS NOT ADHESIVE TAPE.
- INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- DO NOT SCALE DRAWING.
- THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
- ALL INFORMATION CONTAINED HEREIN IS CORRECT AT THE TIME OF DEVELOPMENT BUT IS NOT DESIGNED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
- CONTRACTORS NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT: www.CADDETAILS.com AND ENTER REFERENCE NUMBER 1437-304.

SPORTS COURT DETAIL

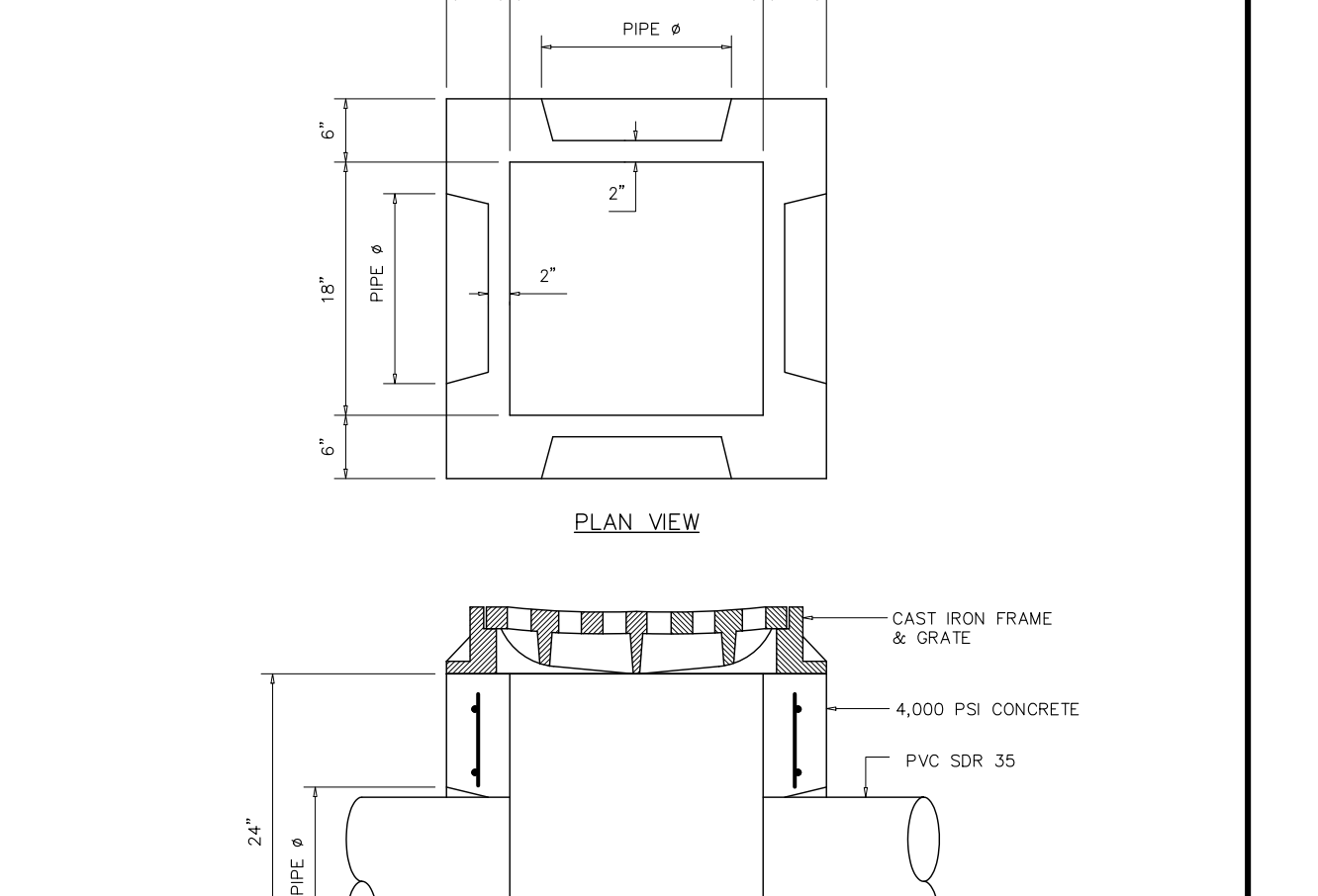


CONFIRM CONFORMANCE TO POOL CODES WITH A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF NEW JERSEY BEFORE CONSTRUCTION DEPARTMENT PRIOR TO INSTALLATION.

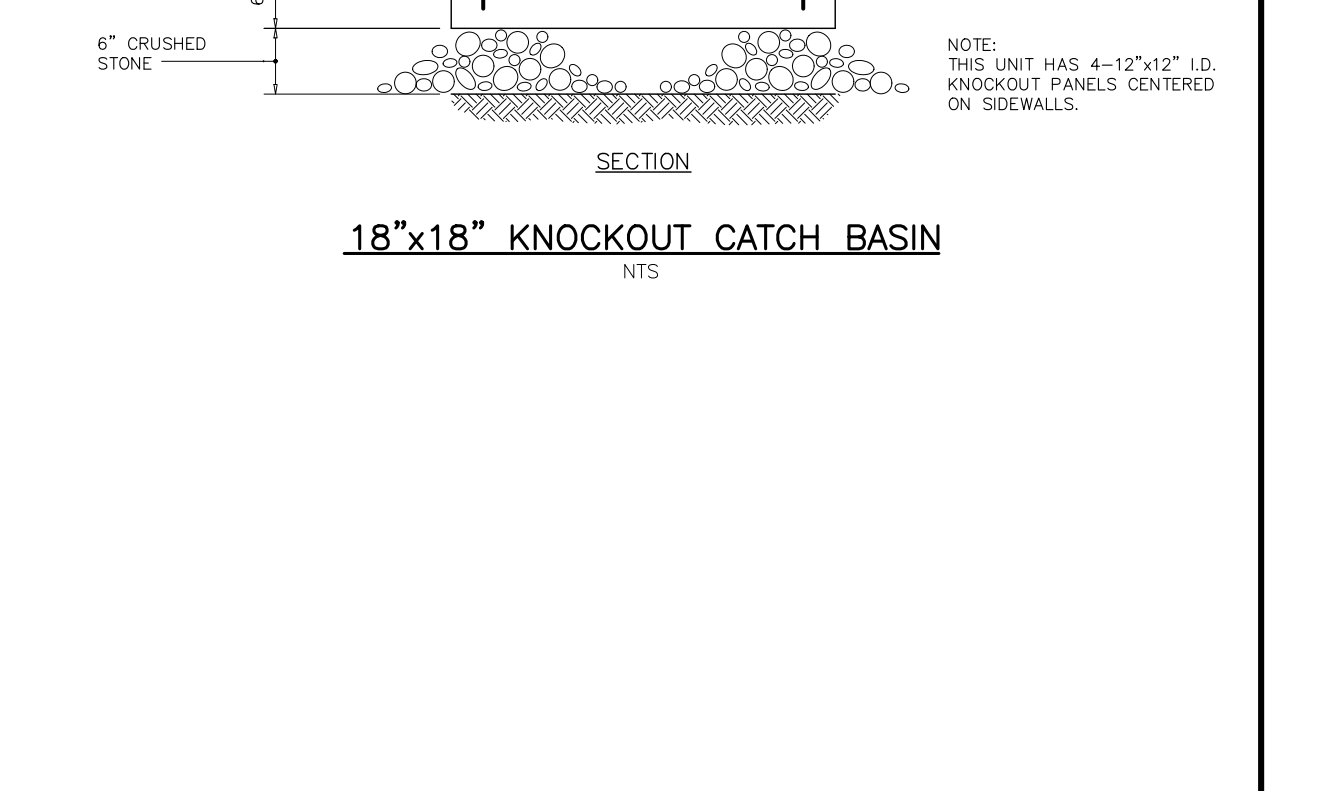
CONFIRM CONFORMANCE TO FOOTING DEPTH PER LOCAL CODE.

DECORATIVE ALUMINUM FENCE JERITH 202 SERIES

24"x24" KNOCKOUT CATCH BASIN



18"x18" KNOCKOUT CATCH BASIN



NO.	REVISIONS	DATE	BY	CHKD

DETAILS

LOT 3.01
PROPOSED DWELLING
No. 17 DUCK POND ROAD
 BOROUGHS OF DEMAREST
 BERGEN COUNTY
 NEW JERSEY

APPLICANT: TOMER EDY
 17 DUCK POND ROAD
 DEMAREST, NJ 07627

HUBSCHMAN ENGINEERING, P.A.

ENGINEERS - PLANNERS - SURVEYORS
 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621
 201-384-5666

DRAWN BY: B.W.
CHECKED BY: M.J.H.
 SCALE: 1"=20'
 DRAWING NO: 4021-1-3
 REV: 3 of 4

DATE: 10-4-24

SECTION R326
SWIMMING POOLS, SPAS AND HOT TUBS

R326.1 General. The design and construction of pools, spas and enclosures shall comply with the *International Swimming Pool and Spa Code*. Amendments to the *International Swimming Pool and Spa Code* shall be as follows:

- Chapter 1, Scope and Administration, shall be deleted in its entirety and "See the administrative provisions of N.J.A.C. 5:23" shall be inserted. In addition, any referenced section of Chapter 1 shall be deleted throughout the code and "the administrative provisions of the Uniform Construction Code (N.J.A.C. 5:23)" shall be inserted.
- Chapter 2, Definitions, shall be amended as follows:
 - In Section 201.3, Terms defined in other codes, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Section 202, Definitions:
 - The definition of "Alteration" shall be deleted.
 - The definition of "Code official" shall be deleted and the following shall be inserted: "Construction Official. A qualified person appointed by the municipal appointing authority or the commissioner pursuant to the act and the regulations to enforce and administer the regulations within the jurisdiction of the enforcing agency."
 - The definition of "Existing pool or spa" shall be deleted.
 - The definition of "Owner" shall be deleted and the following shall be inserted: "Owner. The owner or owners in fee of the property of a lesser estate therein, a mortgagee or vendee in possession, an assignee of rents, receiver, executor, trustee, lessee or any other person, firm or corporation, directly or indirectly in control of a building, structure or real property and shall include any subdivision thereof of the State."
 - The definitions of "Permit" and "Repair" shall be deleted.
- Chapter 3, General Compliance, shall be amended as follows:
 - In Section 302.1, Electrical, "or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted.
 - In Section 302.2, Water service drainage, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Sections 302.5, Back flow prevention, and 302.6, Waste-water discharge, "*International Plumbing Code* or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - Section 305, Barrier requirements, shall be amended as follows:
 - In Section 305.1, General, in the second sentence, "and swimming pools are equipped with a powered safety cover that complies with ASTM F1346" shall be deleted. Also, in the second sentence, "hot tubs or pools" shall be replaced with "hot tubs."
 - Section 305.4, Structure wall as a barrier, shall be deleted.
 - In Section 305.5, On ground residential pool structure as a barrier, in Item 3, "capable of being secured, locked or removed to prevent access except where the ladder or steps are" shall be deleted.
 - In Section 306.1, General, "in accordance with Section 102.7.1" shall be deleted.
 - Sections 306.3, Step risers and treads, and 306.4, Deck steps handrail required, shall be deleted.
 - In Section 306.9.1, Hose bibs, "*International Plumbing Code* or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Sections 307.1.1, Glazing in hazardous locations, 307.2.2, Materials and structural design, 307.1.3, Booths or canopies, 316.4, Installation, and 316.6.1, Installation, "in accordance with Section 102.7.1" shall be deleted.
 - In Section 307.9, Accessibility, the last sentence shall be deleted.
 - In Section 318.2, Protection of potable water supply, "*International Residential Code* or the *International Plumbing Code* or, as applicable in accordance with Section 102.7.1" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - In Section 321.4, Residential pool and deck illumination, "or the *International Residential Code*, as applicable in accordance with Section 102.7.1" shall be deleted.
- Chapter 4, Public Swimming Pools, shall be amended as follows:
 - In Section 410.1, Dressing and sanitary facilities, "*International Plumbing Code*" shall be deleted and "plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
- Amendments to Chapter 6, Aquatic Recreation Facilities, shall be amended as follows:
 - In Section 601.1, Scope, the following sentence shall be added to the end of the paragraph, "For purposes of enforcement, Class D-2 and Class D-6 public pools shall be regulated by this chapter and N.J.A.C. 5:23; all other Class D public pools shall be regulated by N.J.A.C. 5:14A."
 - In Section 609.1, General, "Section 609.2 through 609.9" shall be deleted and "the plumbing subcode (N.J.A.C. 5:23-3.15)" shall be inserted.
 - Sections 609.2, Number of fixtures; 609.3, Showers; 609.4, Soap dispensers; 606.5, Toilet tissue holder; 609.6, Lavatory mirror; 606.7, Sanitary napkin receptacles; 609.8, Sanitary napkin dispensers; and 609.9, Infant care, shall be deleted.

GENERAL NOTES

- TOTAL LOT AREA = 107,360.23 SF. (2.445 AC.)
- ELEVATIONS BASED ON NGVD 1929.

REFERENCES

- A CERTAIN MAP ENTITLED "SUBDIVISION PLAN, MAP NO. 2, BEECHWOOD PARK, BOROUGH OF ALPINE AND BOROUGH OF DIMARST, BERGEN COUNTY, N.J.," FILED IN THE BORO MAP MAP NO. 2146, BEING LOT 3, IN BLOCK 120A ON SAID MAP.
- BOROUGH OF DEMAREST TAX MAPS.

TREE REMOVAL LIST
TREES TO BE REMOVED

DIAMETER	SPECIES
24"	POPLAR
10"	BEECH
8"	MAPLE
14"	MAPLE
40"	SYCAMORE
15"	MAPLE
8"	MAPLE
14"	MAPLE
8"	MAPLE
18"	MAPLE
38"	SPRUCE
24"	SPRUCE
24"	MAPLE
22"	BEECH
18"	PINE
20"	PINE
18"	PINE
15"	PINE
8"	PINE
11"	PINE
10"	PINE
36"	COTTONWOOD
8"	CHERRY
8"	HEMLOCK
12"	OSK
9"	MAPLE
15"	OSK
20"	BEECH
10"	PINE
30"	MAPLE
18"	MAPLE
8"	MAPLE
15"	CHERRY

TOTAL TREES TO BE REMOVED 33

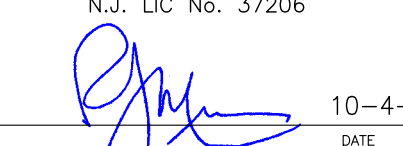
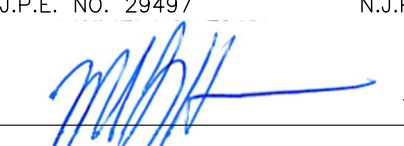
TREE REMOVAL FOR DEVELOPMENT

NO MITIGATION REQUIRED	
A. 1. DEAD TREE OR SAFETY HAZARD	0
A. 2. TREES WITHIN BLDG. FOOTPRINT	2
A. 3. LOCATED WITHIN AREA OF ACCESSORY BUILDING, DRIVEWAY, WALKWAY, OR OTHER STRUCTURES	7
REQUIRED MITIGATION	
A. 4. DRIFTLINE NOT IN A BUFFER AREA	0
A. 5. PART OF LANDSCAPING RENOVATION PROJECT ON LOT USED FOR ONE FAMILY RES. USE WHICH A CERTIFICATE OF OCCUPANCY WAS ISSUED AT LEAST 24 MONTHS PRIOR TO SUBMISSION OF APP. FOR TREE REMOVAL PERMIT	0
A. 6. SPECIALLY PERMITTED TO BE REMOVED ON A SITE PLAN APPROVED PURSUANT TO MUNICIPAL LAND USE LAW	24
TOTAL AMOUNT TO BE MITIGATED	33

REPLACEMENT SCHEDULE

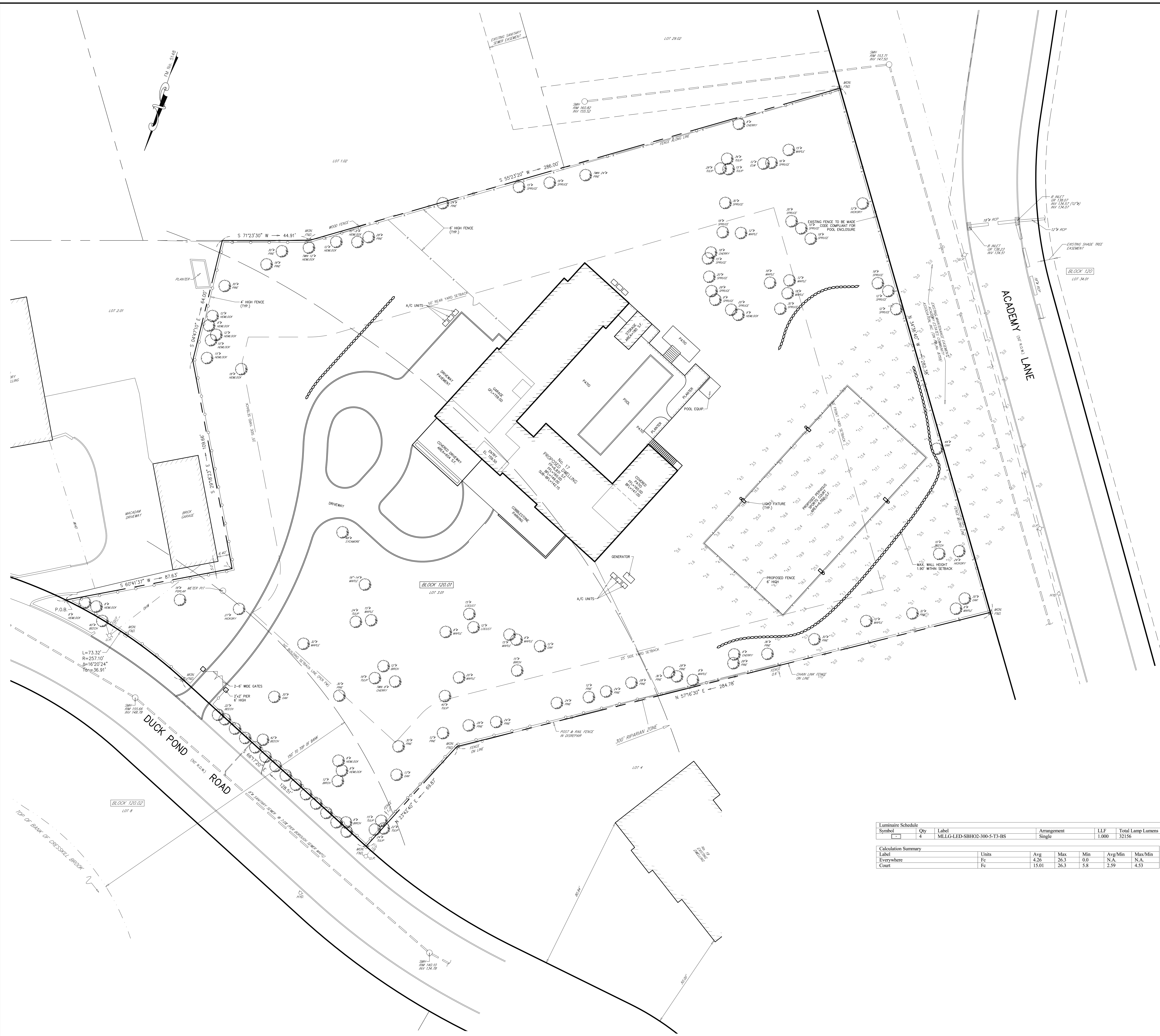
C. (36)" 3" TO NO MORE THAN 6"	0 x 0.33	0
NONE IF LESS THAN 3 TREES REMOVED		
C. (36)" 6" TO NO MORE THAN 9"	6 x 0.5	3
1 MAJOR FOR EVERY 2 TREES REMOVED		
C. (36)" 9" TO NO MORE THAN 12"	5 x 1	5
1 MAJOR FOR EVERY TREE REMOVED		
C. (36)" 12" OR GREATER	13 x 2	26
2 MAJORS FOR EVERY 1 TREE REMOVED		
TREES TO BE REPLACED =		34

NO.	REVISIONS	DATE	BY	CHKD
EXISTING CONDITIONS PLAN				
PROPOSED DWELLING				
No. 17 DUCK POND ROAD				
BOROUGH OF DEMAREST BERGEN COUNTY NEW JERSEY				
APPLICANT: TOMER EDY 17 DUCK POND ROAD DEMAREST, NJ 07627				

ROBERT J. MUELLER PROFESSIONAL LAND SURVEYOR N.J. LIC. NO. 37206 	MICHAEL J. HUBSCHMAN P.E., P.P. PROFESSIONAL ENGINEER AND PLANNER N.J.P.E. NO. 29497 
10-4-24	10-4-24

 HUBSCHMAN ENGINEERING P.A. ENGINEERS - PLANNERS - SURVEYORS 263A S. WASHINGTON AVE., BERGENFIELD, NJ 07621 201-384-5666	DRAWN BY: B.W. CHECKED BY: MJH SCALE: 1"=20' DRAWING NO.: 4021.1-4 REV: 4
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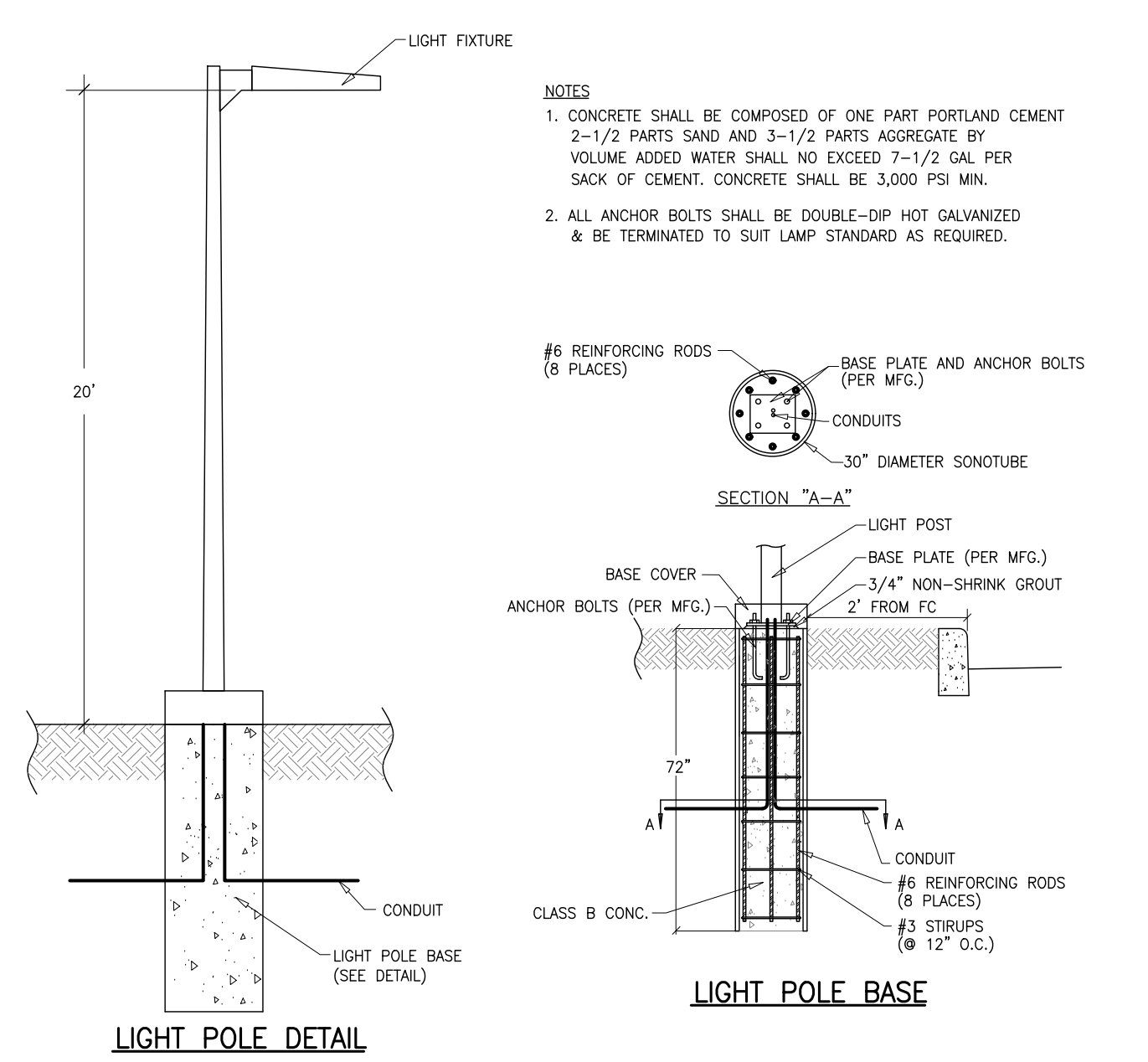
LED LIGHTING SUPPLY
 300 Watt LED Shoebox Area Light | 48000 Lumens | 10 Year Warranty | 5000K



Product Details
 SKU: MLG-LED-SBH02-300-50 | Web ID: 1763
 300 Watt shoebox - parking lot fixture produces 48000 lumens at 100 lumens/watt and has durable die-cast aluminum housing that is powder coated with strong anti-corrosion performance for years of maintenance-free lighting.
 Available in both Type 3 and Type 5 which are perfect for parking lots. Optional photocell allows for additional energy saving from the LED lights. Our 300w LED parking lot light comes with a No dimmable driver at 100V-277V or 277V-480V Optional Voltage LED Driver Color Temperature is: 4000K or 5000K. The fixture comes equipped with built-in 10 kva surge protection. The fixture comes in a dark bronze finish.
 This shoebox fixture can be installed with a wall post or pole mount using the following brackets: Wall or Yoke or Arm or Slip Fitter. All brackets are sold separately. It is also IP65 wet locations rated high impact rating of IK08 and can operate in temperatures ranging from -22 F to 113 F.
 Options:
 4000K Color Temperature (Special Order)
 277-480V Driver (Special Order)

Product Specifications

Watts:	300	Beam Angle:	Type 5 Standard, Type 3 Optional
Lumens:	48000	Optics:	Polycarbonate Lens
Lumens/Watt:	160	Frequency:	50-60Hz
Replaces:	1000 Watt Metal Halide	Power Factor:	> .92
Color Temp:	4000K 5000K	THD:	<15%
CR:	70+	Housing:	Die-Cast Aluminum
IP Rating:	IP65	Fixture Color:	Bronze
IK Rating:	IK08	Mount:	Wall Yoke Arm Slip Fitter
Voltage:	100V-277V 277V-480V Optional	EPA Rating:	2.34
Surge Protection:	6kV line-line, 10kV line-earth	Dimensions:	24.81 in L x 11.93 in W x 3.22 in H
Operating Temp:	-22 degF to +113 degF	Cord Length:	5 Feet
Rated Life:	344,000 (L70) hours	Weight:	116.76 lbs
Dimmable:	No	Warranty:	10 years (100-277V) - 5 years (277-480V)

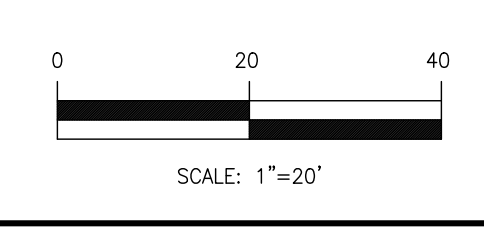


Luminaire Schedule

Symbol	Qty	Label	Arrangement	LLF	Total Lamp Lumens
□	4	MLG-LED-SBH02-300-S-T3-BS	Single	1.000	32156

Calculation Summary

Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Everywhere	Fc	4.26	26.3	0.0	N.A.	N.A.
Court	Fc	15.01	26.3	5.8	2.59	4.53



NO.	REVISIONS	DATE	BY	CHKD.
SPORTS COURT LIGHTING PLAN				
LOT 3.01 PROPOSED DWELLING No. 17 DUCK POND ROAD				
BOROUGH OF DEMAREST BERGEN COUNTY NEW JERSEY				
APPLICANT: TOMER EDRY 17 DUCK POND ROAD DEMAREST, NJ 07627				
DRAWN BY: B.W.		CHECKED BY: M.H.		SCALE: 1"=20'
DRAWING NO. 4021.1-7		REV. 1		DATE: 4-15-25

MICHAEL J. HUBSCHMAN P.E., P.P.
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4021.1-7
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