

Zoning Board of Adjustment
Demarest, NJ

APPLICATION FOR VARIANCE FROM THE REQUIREMENTS OF ZONING ORDINANCE

File No: _____

Date Filed: _____

Date of Hearing: _____

Disposition: _____

To The Board of Adjustment:

Application is hereby made for a variation from the requirements of Section(s)

N.J.S.A. 40:55d-70 ___ of Chapter 175 (Zoning Ordinance) ___ to construct the following:

OR

To use an existing structure in the following manner:

The location of the property is at: (Street Address) _____

Designated as Block 74 and Lot 8 on the Assessment Map.

The reason this new construction or this new use is desired is:

Renovation of home for personal use.

Date present owner acquired title to property June 5, 2023

Applicant:

Name: Austin & Doreen Siboni

Address: 63 Central Avenue, Demarest, NJ

Phone #: (201) 262-3300

Signature: _____

Owner:

Name: Austin & Doreen Siboni

Address: 63 Central Avenue, Demarest, NJ

Phone #: (201) 262-3300

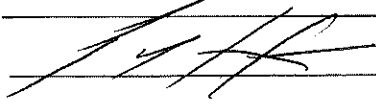
Signature: _____

The owner and/or applicant will be represented at the Public Hearing by:

Name: Paul S. Haberman, Esq.

Phone #: (201) 564-0590

Address: Mueller Law Group, 19 Engle Street, Tenafly, NJ 07670

Signature: 

PLEASE NOTE:
THE APPLICANT OR THEIR REPRESENTATIVE MUST PERSONALY ATTEND THE HEARING

DESCRIPTION OF THE PROPERTY

Address: 63 Central Avenue Zone: D Block: 74 Lot(s): 8

Existing Buildings: Include ALL accessory buildings, structures, garage, shed, swimming pool, deck, patio, and tennis court (etc.)

SETBACKS:

REQUIRED	EXISTING (closest point)	APPLICATION PROPOSED (closest point)
<u>25</u> feet to front yard line	<u>30.9</u> feet	<u>30.9</u> feet
<u>30</u> feet to rear yard line	<u>38.6</u> feet	<u>38.6</u> feet
<u>10</u> feet to closest side yard (lot)	<u>9.6</u> feet	<u>9.6</u> feet
<u>N/A</u> feet to closest side yard (street)	<u>-</u> feet	<u>-</u> feet

Required Lot Size: 10,000 square feet

Existing Lot Size: 15,488 square feet

Fill in the following *Proposed Net Totals* from your worksheet: (entire table must be completed)

IMPROVED LOT COVERAGE:		
Maximum % for principal residence, vehicle access & parking	Permitted <u>3872</u> sq. ft.	<u>25</u> %
	Proposed <u>4479</u> sq. ft.	<u>28.9</u> %
Maximum total improved lot coverage %	Permitted <u>4646</u> sq. ft.	<u>30</u> %
	Proposed <u>5781</u> sq. ft.	<u>37.3</u> %
BUILDING COVERAGE:		
	Permitted <u>3098</u> sq. ft.	<u>20</u> %
	Proposed <u>3042</u> sq. ft.	20 % <u>19.6</u>
MAXIMUM LIVING AREA (FAR)		
	Permitted _____ sq. ft.	<u>30</u> %
	Proposed _____ sq. ft.	<u>230</u> %

Variance Requested: Check Applicable Box(es):

- | | |
|---|--|
| <input type="checkbox"/> Front | <input checked="" type="checkbox"/> Improved Coverage |
| <input type="checkbox"/> Side (lot) | <input type="checkbox"/> Maximum Living Area/ FAR (D variance) |
| <input type="checkbox"/> Side (street -corner lot) | <input type="checkbox"/> Use (D variance) |
| <input type="checkbox"/> Rear | |
| <input checked="" type="checkbox"/> Building Coverage | |

Present use of buildings on the property is:
Residential.

Describe deed restrictions or easements on property if any; these include but are not limited to storm drains, sidewalk, open space, streams, brooks, etc.:

NONE

Character of buildings within the 200-foot property line (i.e., residential, commercial, etc.)
Residential.

Is (a) lot, (b) present building or (c) use of lot or buildings now non-conforming to the Demarest Zoning Ordinance or other Demarest Ordinances? If so, please describe: Yes. Existing maximum building coverage is 20.33%, maximum lot percentage for principal residence, vehicle access, and parking is 28.9%, and maximum improved lot coverage percentage is 37.1%.

Has a variance been previously granted on this property? _____ If so, when? _____

Please describe N/A

Has a variance on this property previously been denied? _____ If so, when? _____

Please describe? N/A

IMPROVED COVERAGE CALCULATIONS:

Definition: A material that prevents absorption of storm water into the ground.

Address:	63 Central Avenue, Demarest, New Jersey		
Zone:	D		
Size of Lot:	15,480		
Required Square Footage:	10,000		
Permitted Total Improved Coverage	4,646	Sq. Ft.	30 %
Permitted Improved Coverage: Principal Residence, Vehicle Access & Parking	3,872	Sq. Ft.	25

<u>A. EXISTING</u>	<u>SQ. FT</u>	<u>Check if to be Demolished</u>	<u>B. PROPOSED</u>	<u>SQ. FT</u>
house	<u>3,042</u>	_____	house	<u>-</u>
Garage	<u>-</u>	_____	Garage	<u>-</u>
Patio	<u>458</u>	_____	Patio	<u>-</u>
Deck	<u>-</u>	_____	Deck	<u>-</u>
Shed	<u>-</u>	_____	Shed	<u>-</u>
Swimming Pool	<u>-</u>	_____	Swimming Pool	<u>-</u>
Tennis Court	<u>-</u>	_____	Tennis Court	<u>-</u>
Driveway	<u>1,437</u>	_____	Driveway	<u>-</u>
Front Walkway	<u>539</u>	_____	Front Walkway	<u>-</u>
Side Walkway	<u>-</u>	_____	Side Walkway	<u>-</u>
Rear Walkway	<u>-</u>	_____	Rear Walkway	<u>-</u>
Other (Walls)	<u>275</u>	_____	Other (Walls)	<u>30</u>

Existing Improved Coverage 5751 Sq. Ft. 37.1 %

Proposed New Improved Coverage 30 Sq. Ft. 0.2 %

Total Improved Coverage (A + B) = 5781 Sq. Ft. 37.3 %

BUILDING COVERAGE (Footprint) CALCULATIONS:

Coverage, Maximum – The percentage of the plot or lot area covered by the principal building and the accessory use building(s) and/or structure(s).

Address:	63 Central Avenue, Demarest, New Jersey		
Zone:	D		
Size of Lot:	15,488		
Required:	10,000		
Permitted Coverage	20	%	3098 Sq. Ft.

A. EXISTING:

Check if to be demolished

House	<u>3042</u> Sq. Ft.	<input type="checkbox"/>
Garage	<u>-</u> Sq. Ft.	<input type="checkbox"/>
Shed	<u>-</u> Sq. Ft.	<input type="checkbox"/>
Other	<u>-</u> Sq. Ft.	<input type="checkbox"/>

EXISTING NET COVERAGE: 3042 Sq. Ft. (19.6%)

B. PROPOSED:

N/A - NO CHANGE(S) TO BUILDING PROPOSED

New House	<u> </u> Sq. Ft.
Addition	<u> </u> Sq. Ft.
Garage	<u> </u> Sq. Ft.
Shed	<u> </u> Sq. Ft.
Other	<u> </u> Sq. Ft.

PROPOSED NEW COVERAGE: 0 Sq. Ft. (0%)

TOTAL BUILDING COVERAGE (A + B): 3042 Sq. Ft. (19.6%)

FLOOR AREA RATIO CALCULATIONS (Livable Floor Area)

The aggregate of all floors included within the outer walls of the building, excluding basements, garages and other unheated areas and including only such floor area under a sloping ceiling for which the headroom is not less than five (5) feet six (6) inches and then only if at least seventy-five percent (75%) of such floor area has a ceiling height of net less than seven (7) feet, six (6) inches and if any such floor that is situated above another story has access to the floor by a permanent, built-in stairway and has a permanent complete floor and a means of heating to seventy-five degrees Fahrenheit (75F) at all times.

Address:	63 Central Avenue, Demarest, New Jersey	
Zone:	D	
Size of Lot:	15,488	
Square Foot REQUIRED:	10,000	
Permitted Livable Area	Sq. Ft.	%

A. EXISTING: Check if to be demolished

House _____ Sq. Ft. _____

Heated Attic _____ Sq. Ft. _____

Other _____ Sq. Ft. _____

EXISTING NET LIVABLE AREA: _____ Sq. Ft. _____ %

B. PROPOSED:

New House _____ Sq. Ft.

Addition _____ Sq. Ft.

Heated Attic _____ Sq. Ft.

Other _____ Sq. Ft.

PROPOSED LIVABLE AREA: 0 Sq. Ft. 0 %

TOTAL LIVABLE AREA (A + B): N/A Sq. Ft. N/A %

No CHANGES TO LIVABLE AREA PROPOSED