

GENERAL CONDITIONS

- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL BE RESPONSIBLE FOR SAME. IF THERE IS ANY VARIATION FROM THESE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/OWNER.
- ALL DIMENSIONS AND LOCATIONS AS INDICATED ON THE DRAWINGS SHALL BE CONSIDERED REASONABLY CORRECT, BUT IT IS UNDERSTOOD THAT THEY ARE SUBJECT TO MODIFICATIONS AS MAY BE NECESSARY OR DESIRABLE AT THE TIME OF INSTALLATION TO MEET ANY UNFORESSEEN OR OTHER CONDITIONS.
- THE CONTRACTOR SHALL PROVIDE AN AS-BUILT FOUNDATION PLAN, CERTIFIED BY A LICENSED SURVEYOR, PRIOR TO THE COMMENCEMENT OF ABOVE GROUND CONSTRUCTION.
- ALL WORK AND MATERIALS AND EQUIPMENT MUST BE IN ACCORDANCE WITH EQUIPMENT SPECIFICATIONS.
- ALL CONTRACTORS SHALL HAVE AND MAINTAIN CONTRACTORS LIABILITY PROPERTY DAMAGE INSURANCE AND WORKMENS COMPENSATION INSURANCE. ALL PHASES OF CONSTRUCTION SHALL COMPLY TO LOCAL, STATE AND FEDERAL SAFETY LAWS.
- ALL WORK AND MATERIALS MUST CONFORM TO ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES. ALL PLUMBING AND HEATING WORK SHALL CONFORM WITH THE LOCAL HEALTH DEPARTMENT REQUIREMENTS AND WITH ALL OTHER APPLICABLE CODES AND ORDINANCES. ALL PLUMBING TO CONFORM TO NATIONAL PLUMBING CODE.
- THESE SPECIFICATIONS ARE GENERAL IN FORM. THE CONTRACTOR, IN APPLYING THEM, ASSUMES COMPLETE RESPONSIBILITY FOR THEIR USE, SUBSTITUTIONS, CHANGES AND OMISSIONS.
- IT SHALL BE UNDERSTOOD THAT THE SCOPE OF THESE DRAWINGS INCLUDES ONLY ARCHITECTURAL INFORMATION AND THAT NO FURTHER LIABILITY WILL BE ASSUMED BY THE ARCHITECT BEYOND THOSE SIGNED AND SEALED DOCUMENTS.
- THE ARCHITECT SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, FIXTURES, APPLIANCES AND LABOR NECESSARY TO COMPLETE ALL WORK NOTED ON PLANS AND IN ACCORDANCE WITH THE OWNERS REQUIREMENTS OR AS OTHERWISE REQUIRED. ALL MATERIAL SHALL BE NEW AND FREE FROM ANY DEFECTS. ALL WORK SHALL BE PERFORMED IN A COMPETENT, WORKMANLIKE MANNER ACCEPTABLE WITH MODERN PRACTICE.
- UPON COMPLETION OF THE WORK, REMOVE ALL PAINT AND VARNISH SPOTS FROM THE FLOOR, GLASS, TILE, ETC., AND LEAVE ALL DOORS FREE TO MOVE PROPERLY. ALL HARDWARE SHALL BE IN PERFECT OPERATION. REMOVE FROM PREMISES ALL RUBBISH AND ACCUMULATED MATERIALS OF WHATEVER NATURE, EXCEPT AS INDICATED BY OWNER. FLOORS SHALL BE LEFT IN A CLEAN, ORDERLY CONDITION ACCEPTABLE TO THE OWNER AND READY FOR OCCUPANCY.
- ALL WORKMANSHIP AND MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF OWNERS ACCEPT UNLESS OTHERWISE NOTED.
- ALL EXTERIOR OPENINGS SHALL BE PROPERLY FLASHED, PROVIDE COMPLETE WEATHER STRIPPING OF JAMBS, HEAD AND SILL AT ALL EXTERIOR OPENINGS.
- PROTECT ALL WORK, ADJACENT PROPERTIES, DRIVEWAYS, WALKS, STEPS, ETC., DURING AND AFTER CONSTRUCTION UNTIL FINAL ACCEPTANCE. BUILD ALL NECESSARY BARRICADES, AND FURNISH ALL NECESSARY LIGHT AND DANGER WARNINGS.
- ALL REQUIRED PERMITS SHALL BE APPLIED FOR AND ALL FEES PAID BY CONTRACTOR/OWNER.

CODES / DESIGN CRITERIA / GENERAL DATA

MUNICIPALITY: BOROUGH OF DEMAREST  
 LOT / BLOCK: 2/84.04  
 ZONE: R-8B  
 USE GROUP: R-5  
 CONSTRUCTION CLASSIFICATION: 5B

CODE CLASSIFICATION:  
 INTERNATIONAL RESIDENTIAL CODE N.J. EDITION IRC 2021  
 INTERNATIONAL MECHANICAL CODE IMC 2021  
 ICC ENERGY CONSERVATION CODE IECC 2021  
 NATIONAL ELECTRICAL CODE NEC 2020  
 NATIONAL STANDARD PLUMBING CODE NSPC 2021  
 INTERNATIONAL FUEL GAS CODE IFGC 2021  
 ONE & TWO FAMILY DWELLING IRC 2021

FLOOR AREAS  
 PROP. 1ST FLOOR LIVABLE 2,748 SF.  
 PROP. 2ND FLOOR LIVABLE 2,305 SF.  
 TOTAL PROP. LIVABLE AREA 5,053 SF.  
 PROP. GARAGE 700SF

BUILDING VOLUME OF PROPOSED AREAS 70,300 CUBIC FEET

FLOOR LOADS: 40 lbs. / sf. LIVE LOADS, 10 lbs. / sf. DEAD LOADS  
 ROOF LOADS: 30 lbs. / sf. LIVE LOADS, 20 lbs. / sf. DEAD LOAD

GRADING INFORMATION:  
 ALL GRADES INDICATED ON CONSTRUCTION DOCUMENTS ARE APPROXIMATE ONLY AND SHALL BE CONFIRMED DURING CONSTRUCTION ON THE ACTUAL CONSTRUCTION SITE WITH ENGINEER AND LANDSCAPE ARCHITECT. REFER TO SIGNED, SEALED, AND APPROVED ENGINEERING DRAWINGS FOR ACTUAL GRADING. (WHEN APPLICABLE)

# FERMANO RESIDENCE

12 IRENE COURT  
 DEMAREST, NJ 07627  
 BLOCK 84.04/ LOT 2  
 BERGEN COUNTY, NEW JERSEY

DRAWING LIST

- T - TITLE, NOTES, DWG. LIST
- A1 - FOUNDATION PLAN & BASEMENT PLAN
- A2 - 1ST FLR PLAN & DETAILS
- A3 - 2ND FLR PLAN
- A4 - ROOF PLAN & DETAILS
- A5 - ELEVATIONS
- A6 - ELEVATIONS & WALL SECTION
- A7 - BRACING PLAN
- E1 - ELEC PLANS
- E2 - ELEC PLANS, PLUMBING DIAGRAMS



FRONT ELEVATION  
 SCALE: NTS

NOTE:  
 SEE ELEVATION SHEETS FOR TYP NOTES & INFO.

2021 IRC VENTILATION REQUIREMENTS FOR CLIMATE AREA ZONE 5

IECC 2021 - PER SECTION R402.4.1.2 - THE DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING (5) AIR CHANGES PER HOUR IN CLIMATE ZONE 1 & 2, AND (3) THREE AIR CHANGES PER HOUR IN CLIMATE ZONES 3-8. THIS SHALL BE TESTED AND VERIFIED BY EITHER A BLOWER DOOR TEST. BERGEN COUNTY, NJ IS CLIMATE ZONE 5A

IRC 2021 - PER SECTION R303.4 - WHERE THE AIR INFILTRATION RATE OF 5 AIR CHANGES PER HOUR OR LESS WHERE TESTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCH W.C. IN ACCORDANCE WITH SECTION N102.4.1.2. THE DWELLING UNIT SHALL BE PROVIDED WITH A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM IN ACCORDANCE WITH IRC 2021 - M1507.3

THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE OF NOT LESS THAN THAT DETERMINED IN ACCORDANCE WITH THE TABLE M1507.3.3(1)

TABLE M1507.3.3(1)  
 CONTINUOUS WHOLE-HOUSE MECH. VENTILATION SYSTEM AIRFLOW RATE REQUIREMENTS

DWELLING UNIT FLOOR AREA (square feet)	NUMBER OF BEDROOMS				
	0-1	2-3	4-5	6-7	> 7
< 1,500	30	45	60	75	105
1,501 - 3,000	45	60	75	90	120
3,001 - 4,500	60	75	90	105	135
4,501 - 6,000	75	90	105	120	150
6,001 - 7,500	90	105	120	135	165
> 7,500	105	120	135	150	

TABLE M1507.4  
 MINIMUM REQUIRED LOCAL EXHAUST RATES FOR ONE & TWO FAMILY DWELLINGS

AREA TO BE EXHAUSTED	EXHAUSTED RATES
KITCHENS	100 CFM INTERMITTENT OR 25 CFM CONTINUOUS
BATHROOMS & TOILET ROOMS	MECHANICAL EXHAUST CAPACITY OF 50 CFM INTERMITTENT or 20 CFM CONTINUOUS

ABBREVIATIONS

AFB ALUM ABOVE FINISHED FLOOR ALUMINUM	FD FLOOR DRAIN FLOOR	FLUMB PLYWOOD	PLUMB PLYWOOD
BSMT BASEMENT	F.O. FACE OF FOUNDATION	PT PAINTED	PT PRESSURE TREATED
BOT BOTTOM	FND FOUNDATION	PNT PAINTED	PNT PAINTED
C CLR CENTER LINE	GA GAUGE	PVC POLYVINYL CHLORIDE	PVC POLYVINYL CHLORIDE
CLB CONG CONCRETE MASONRY UNIT	HR HIGH POINT	REQD REQUIRED ROOM	REQD REQUIRED ROOM
COL CONC CONCRETE	HRV HVAC	SD SPEC SPECIFICATIONS	SD SMOKE DETECTOR SPECIFICATIONS
CONT CONTINUOUS	INSUL INSULATION	SSSTL STAINLESS STEEL	SSSTL STAINLESS STEEL
DBL DEMO DEMOLISH OR DEMOLITION	INT INTERIOR	STRUC STRUCTURE	STRUC STRUCTURE
DIA DIA DIAMETER	MAX MAXIMUM	T&G TONGUE AND GROOVE	T&G TONGUE AND GROOVE
DM DIM DIMENSION	M.O. MASONRY OPENING	T.O TOP OF	T.O TOP OF
DN DOWN	MECH MECHANICAL	T.O.C TOP OF CONCRETE	T.O.C TOP OF CONCRETE
DWG DRAWING	MEMBR MEMBRANE	T.O.S TOP OF STEEL	T.O.S TOP OF STEEL
EA EACH	MIN MINIMUM	TYP TYPICAL	TYP TYPICAL
EJ EXPAN JOINT	MTL METAL	UNO UNLESS NOTED OTHERWISE	UNO UNLESS NOTED OTHERWISE
EL ELEV ELEVATION	NOM NOMINAL	W.C WALK-IN CLOSET	W.C WALK-IN CLOSET
ELEC ELECTRICAL	O.C ON CENTER		
ELEV ELEVATION	OSP OPPOSITE		
EPDM ETHYLENE PROPYLENE DIENE (ROOFING)	OZ OUNCE		
EQ EQUAL			
EXIST EXISTING			
EXT EXTERIOR			

FRAMING NOTES

- FRAMING MATERIALS
- STUDS & FRAMING MEMBERS DESIGN VALUES BASED ON ASTM STANDARD D1990-01. STUDS TO BE DOUGLAS FIR STUD GRADE OR BETTER. FRAMING MEMBERS: DOUGLAS FIR NO. 2 OR BETTER, MAXIMUM 19% MOISTURE CONTENT. INSTALL STUDDING IN ACCORDANCE WITH INDUSTRY STANDARDS. STUD SPACING SHOULD BE 16" WOOD BLOCKING TO STUDS FOR SUPPORT OF WALL CABINETS, TOILET ACCESSORIES AND HARDWARE, ETC. COORDINATE INSTALLATION OF BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL WORK PLACED IN OR BEHIND PARTITION FRAMING.
  - LVL - LAMINATED VENEER LUMBER MUST HAVE A RATING OF 2.0E (MODULUS OF ELASTICITY). LVL SIZED AS PER CONTRACT DOCUMENTS. NOTE (1) 3-1/2" THICK BEAM MAY BE SUBSTITUTED FOR (2) 3-3/4" MEMBER. DOUBLE MEMBERS SHALL BE NAILED WITH MINIMUM 2 ROWS 16d COMMON NAILS 12" O.C. TRIPLE MEMBERS SHALL BE NAILED WITH 3 ROWS 16d COMMON NAILS 12" O.C. (STAGGERED). CUTTING AND HOLE LOCATION SHALL BE ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATION. HANGERS AS MANUFACTURED BY UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. MINIMUM BEARING 3" EIGHT END.
  - WOOD I-BEAM JOISTS MUST COMPLY WITH ASTM D5055 BY APA-THE ENGINEERED WOOD ASSOCIATION. FLANGE AND DEPTH AS INDICATED ON CONSTRUCTION DOCUMENTS. JOIST HANGERS TO BE EITHER UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. INSTALL AND BRACE WOOD I-BEAMS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MINIMUM AND BEARING TO BE 1-3/4". MINIMUM INTERMEDIATE BEARING LENGTH IS 3-1/2". CUTTING AT HOLE LOCATIONS ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATIONS. STORE AND HANDLE JOISTS TO PROTECT AGAINST CONTACT WITH DAMP AND WET SURFACES. EXPOSURE TO WEATHER, BREAKAGE AND DAMAGES.
  - RAFTERS, CEILING JOISTS, AND COLLAR TIES SHALL BE MECHANICALLY FASTENED AS PER TABLE R802.5.1 (9) R.C.

FRAMING NOTE:

- G.C. TO PROVIDE DOUBLE FRAMING UNDER ALL PARTITIONS, ADDITIONAL LOADS (RE. CABINETS, TUBS, ISLANDS, ECT.), AND ALL FLOOR, CEILING, AND ROOF OPENINGS.
- FRAMING CONTRACTOR TO REFER TO ELECTRICAL PLANS FOR LIGHTS LAYOUT PRIOR TO FLOOR FRAMING.

- ALL TRADES SHALL FIREPROOF ALL PENETRATIONS BETWEEN FLOORS
- POCKET WALL AS REQUIRED AT ALL BEAM FOUNDATION INTERSECTIONS.
- MOISTURE AND MOLD RESISTANT GYPSUM BOARD TYP. IN BSMT.
- G.C. TO CONTACT ARCHITECT TO COORDINATE WITH H.V.A.C. CONTRACTOR. BASEMENT CEILINGS AND SOFFITS TO BE DISCUSSED AND DESIGNED PRIOR TO COMMENCING WITH H.V.A.C. ROUGHING. MECHANICAL TRADES MUST KEEP ALL PIPES, TUBES, WIRES, ECT. WITHIN JOIST BAYS. DROPS SHOULD HAPPEN AT PERIMETER OR WITHIN PARTITIONS.

BASEMENT DOOR SCHEDULE

NO.	LOCATION	SIZE	SWING	JAMB	HARDWARE/MFG.	STOPS	REMARKS
001	STORAGE/MECH. ROOM	3'-0" x 7'-0"	R	4	9/16	PASSAGE	LOUVERED
002	CLOSET	2'-8" x 7'-0"	L	4	9/16	PASSAGE	
003	MECHANICAL ROOM	3'-0" x 7'-0"	R	4	9/16	PASSAGE	LOUVERED
004	STORAGE	(2) 2'-0" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
005	MEDIA ROOM/THEATER	3'-0" x 7'-0"	R	6	9/16	PASSAGE	
006	LINEN	(2) 1'-6" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
007	STORAGE	(2) 2'-0" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
008	BATHROOM	2'-8" x 7'-0"	R	6	9/16	PRIVACY	
009	BATHROOM	2'-8" x 7'-0"	L	4	9/16	PRIVACY	
010	GUEST BEDROOM	2'-8" x 7'-0"	L	6	9/16	PRIVACY	
011	CLOSET	(2) 2'-0" x 7'-0"	TWIN DBL ACTING	6	9/16	DUMMY TRIM	MAGNETIC CATCHES
012	STORAGE	2'-6" x V.I.F.	R	6	9/16	PASSAGE	P.H. DOOR V.I.F.

FIRST FLOOR DOOR SCHEDULE

NO.	LOCATION	SIZE	SWING	JAMB	HARDWARE/MFG.	STOPS	REMARKS
101	BATHROOM	2'-8" x 8'-0"	R	6	9/16	ENTRANCE LOCKSET	SINGLE CYLINDER DEADBOLT
102	BATHROOM	2'-8" x 8'-0"	L	4	9/16	PRIVACY	
103	CLOSET	(2) 1'-6" x 8'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
104	3-CAR GARAGE (DOUBLE)	16'-0" x 8'-0"	O.H. DOOR	N/A	3/4" HP ELEC. OPENER		OVERHEAD GARAGE DOOR
105	3-CAR GARAGE (SINGLE)	9'-0" x 8'-0"	O.H. DOOR	N/A	3/4" HP ELEC. OPENER		OVERHEAD GARAGE DOOR
106	CABANA/GUEST BDRM	2'-8" x 8'-0"	R	6	9/16	PRIVACY	
107	3-CAR GARAGE	3'-0" x 8'-0"	R	6	9/16	ENTRANCE LOCKSET	SELF LATCHING FR. DOOR & FRAME INSULATED
108	POWDER ROOM	2'-8" x 8'-0"	R	6	9/16	PRIVACY	
109	MUDROOM	3'-10" x 8'-4"	BARN DOOR	N/A	BARN DOOR HRDWR		TO FIT 3-2 x 8'-0" OPENING
110	BASEMENT STAR	2'-8" x 8'-0"	R	4	9/16	PASSAGE	
111	W.I.C.	2'-8" x 8'-0"	L	4	9/16	PASSAGE	
112	PANTRY	2'-8" x 8'-0"	L	4	9/16	PANTRY	
113	DINING ROOM	2'-8" x 8'-0"	L/R	4	9/16	DOUBLE SWING HINGE	DOUBLE SWING
114	CLOSET	(2) 2'-6" x 8'-0"	TWIN DBL ACTING	6	9/16	DUMMY TRIM	MAGNETIC CATCHES
115	FOYER	(2) 3'-0" x 8'-0"	TWIN DBL ACTING	6	9/16	ENTRANCE LOCKSET	SINGLE CYLINDER DEADBOLT
116	POWDER ROOM	2'-8" x 8'-0"	POCKET DOOR	6	9/16	FLUSH/EDGE PULL	SOFT CLOSE JOHNSON FRAME
117	OFFICE	2'-8" x 8'-0"	R	6	9/16	PRIVACY	

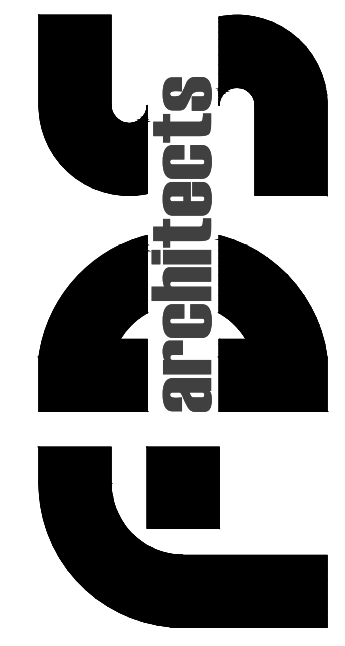
SECOND FLOOR DOOR SCHEDULE

NO.	LOCATION	SIZE	SWING	JAMB	HARDWARE/MFG.	STOPS	REMARKS
201	PRIMARY BATH	(2) 2'-8" x 7'-0"	RIGHT ACTIVE	4	9/16	PRIVACY	
202	PRIMARY BATH (TOILET)	2'-8" x 7'-0"	L	4	9/16	PRIVACY	
203	W.I.C. #1	2'-6" x 7'-0"	POCKET DOOR	6	9/16	FLUSH/EDGE PULL	SOFT CLOSE JOHNSON FRAME
204	VESTIBULE	3'-0" x 7'-0"	L	6	9/16	PRIVACY	
205	W.I.C. #2	2'-6" x 7'-0"	POCKET DOOR	6	9/16	FLUSH/EDGE PULL	SOFT CLOSE JOHNSON FRAME
206	W.I.C.	2'-8" x 7'-0"	R	4	9/16	PASSAGE	
207	BATHROOM	2'-8" x 7'-0"	R	4	9/16	PRIVACY	
208	BEDROOM #1	2'-8" x 7'-0"	R	4	9/16	PRIVACY	
209	LINEN CLOSET	(2) 2'-0" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
210	BEDROOM #2	2'-8" x 7'-0"	L	4	9/16	PRIVACY	
211	W.I.C.	(2) 2'-8" x 7'-0"	R	4	9/16	PASSAGE	
212	W.I.C.	(2) 2'-0" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES
213	LINEN CLOSET	1'-10" x 7'-0"	R	4	9/16	PASSAGE	
214	LAUNDRY	(2) 2'-0" x 7'-0"	PR. POCKET DOOR	6	9/16	FLUSH/EDGE PULL	SOFT CLOSE JOHNSON FRAME
215	BEDROOM #3	2'-8" x 7'-0"	L	6	9/16	PRIVACY	
216	BATHROOM	2'-8" x 7'-0"	R	4	9/16	PRIVACY	
217	CLOSET	2'-6" x 7'-0"	TWIN DBL ACTING	4	9/16	DUMMY TRIM	MAGNETIC CATCHES

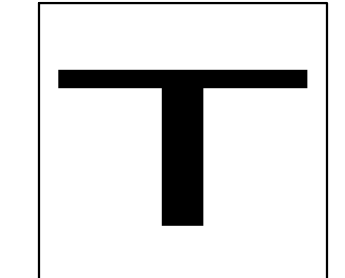
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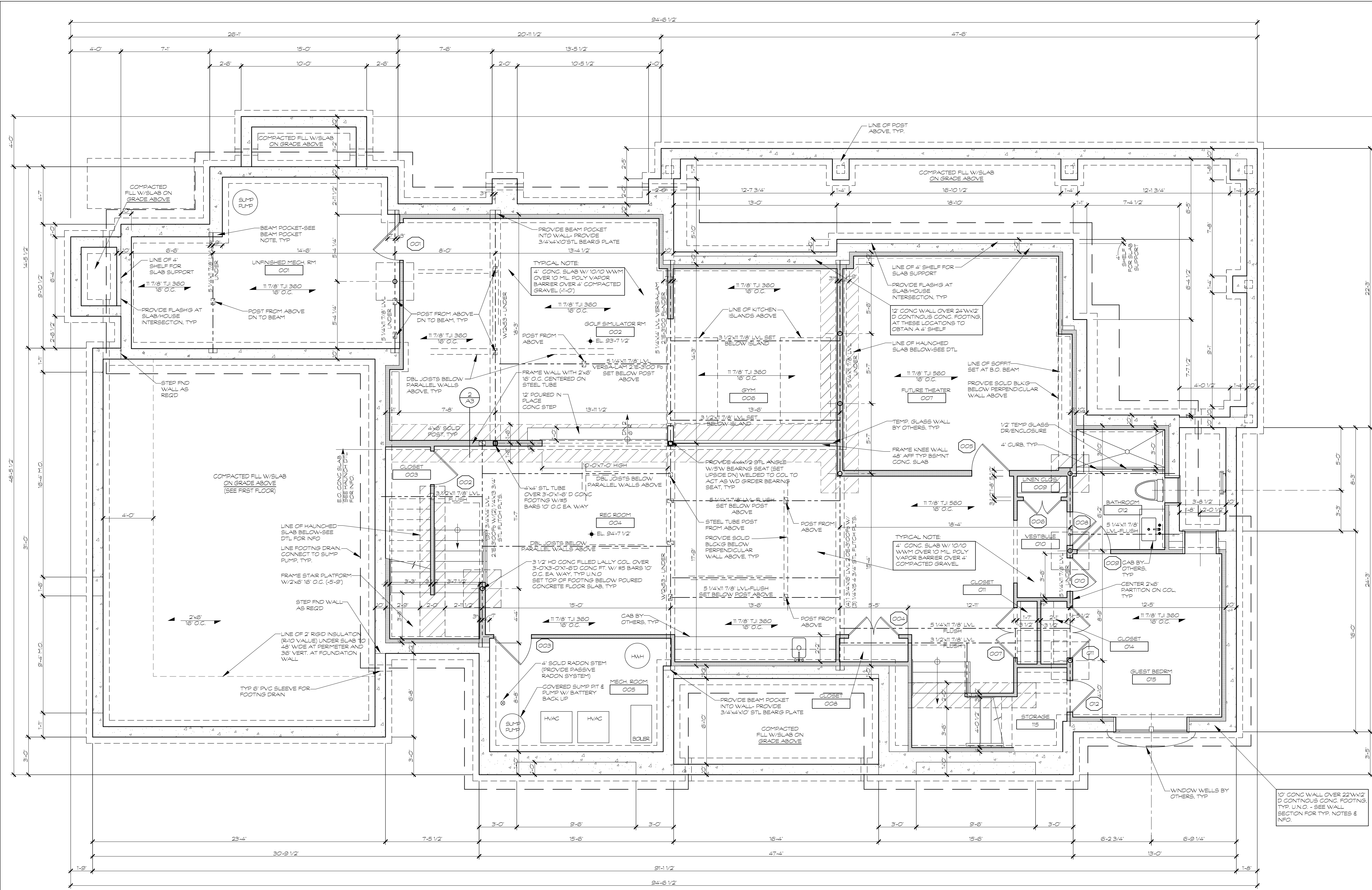
peter j. ditto, p.a.  
 nj A1012148

82 north summit st., tenafly, nj 07670  
 201-569-7500 fax 201-569-7525  
 www.fdsarchitects.com



dwg: TITLE, NOTES, DWG. LIST  
 project: NEW RESIDENCE  
 client: Fermano, Ron Residence  
 12 Irene Court  
 Demarest, NJ 07627  
 project #: R-2250  
 scale: As Noted date: 1.24.24





### WALL PARTITIONS

- NEW 2x6" OR 2x4" WALL CONSTRUCTION-SEE PLAN FOR INFO.
- NEW CMU WALL - SEE PLAN FOR INFO.
- NEW POURED CONCRETE WALL SEE PLAN FOR INFO.

### FRAMING NOTES

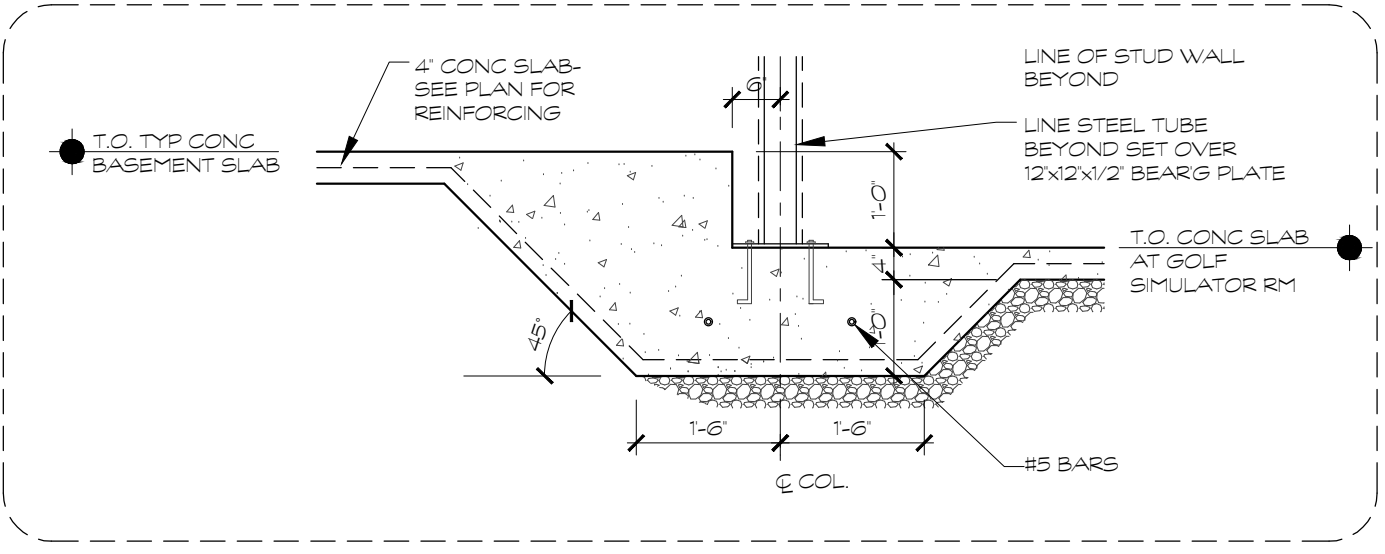
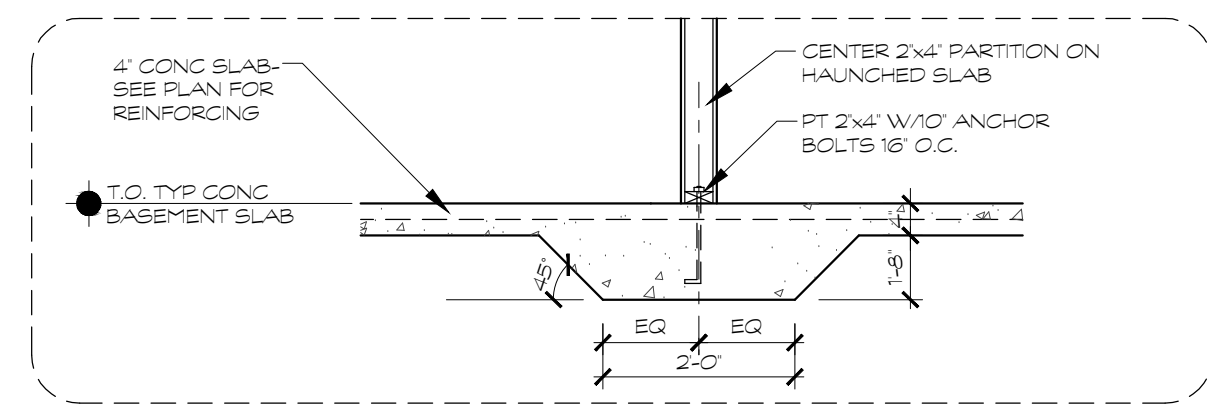
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### HEADERS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON DRAWINGS)

(2) 2x10'	4'-0" OPENING OR LESS
(2) 2x12'	5'-0" OPENING OR LESS
(2) 2x12' OR (2) 1 3/4"x8 1/2' LVL	6'-0" OPENING OR LESS

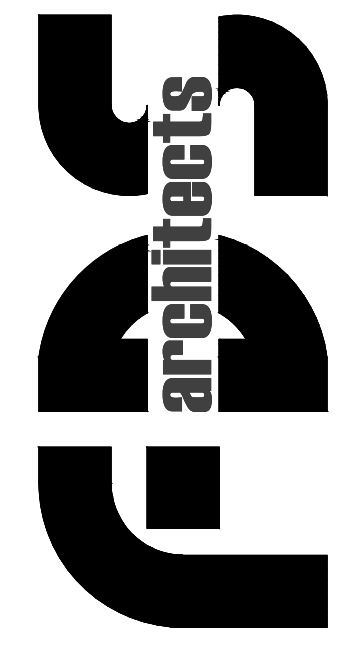
- ### POURED FOUNDATION NOTES
- FOOTINGS SHALL BE MIN. 12" THK., PROJECT 6" EITHER SIDE OF WALL; PROVIDE 2" x 4" KEY TYPICAL. 2-HS RE-BARS CONTINUOUS (GROUNDED AS PER CODE)
  - ALL CONCRETE SHALL BE MIN. 3000 PSI AT 28 DAYS. GARAGE SLAB TO BE 4" THK. WITH 6x6 10/10 W/M OR FIBER MESH CONCRETE MIX.
  - 10" CONCRETE WALLS SHALL BE REINFORCED AS FOLLOWS:
    - HORIZONTAL - 2 NO. 5 AT 1/3 POINTS 32" O.C. & WITHIN TOP 12" OF WALL
    - VERTICAL - NO. 3 AT 32" O.C.
  - PROVIDE 10 MIL. POLY. VAPOR BARRIER UNDER SLAB AND OVER 4" CRUSHED STONE.
  - PROVIDE 1/2" DIA. x 16" ANCHOR BOLTS @ 6'-0" O.C. AND 1'-0" FROM CORNERS. MIN. 2 BOLTS PER PLATE.
  - SEALER AT ALL EXTERIOR PLATES.
  - 2 - 2" x 6" WOLMANIZED PLATE EXTERIOR WALLS.
  - 2 - 2" x 6" OR 2-2x4" WOLMANIZED PLATE INTERIOR WALLS AS PER PLAN
  - PROVIDE WATERPROOFING AT ALL EXTERIOR SURFACES.
  - INSTALL 4" PVC FOOTING DRAINS AT ALL EXTERIOR FOOTINGS WITH 12" CRUSHED STONE (MIN.) WRAPPED IN FILTER FABRIC.
  - FILL LALLY COLS. SOLID CONCRETE.
  - CONTRACTOR TO NOTIFY BUILDING CODE OFFICIAL TO INSPECT REINFORCING BEFORE CONCRETE IS POURED.

**1** PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0" LIVABLE AREA: SQFT



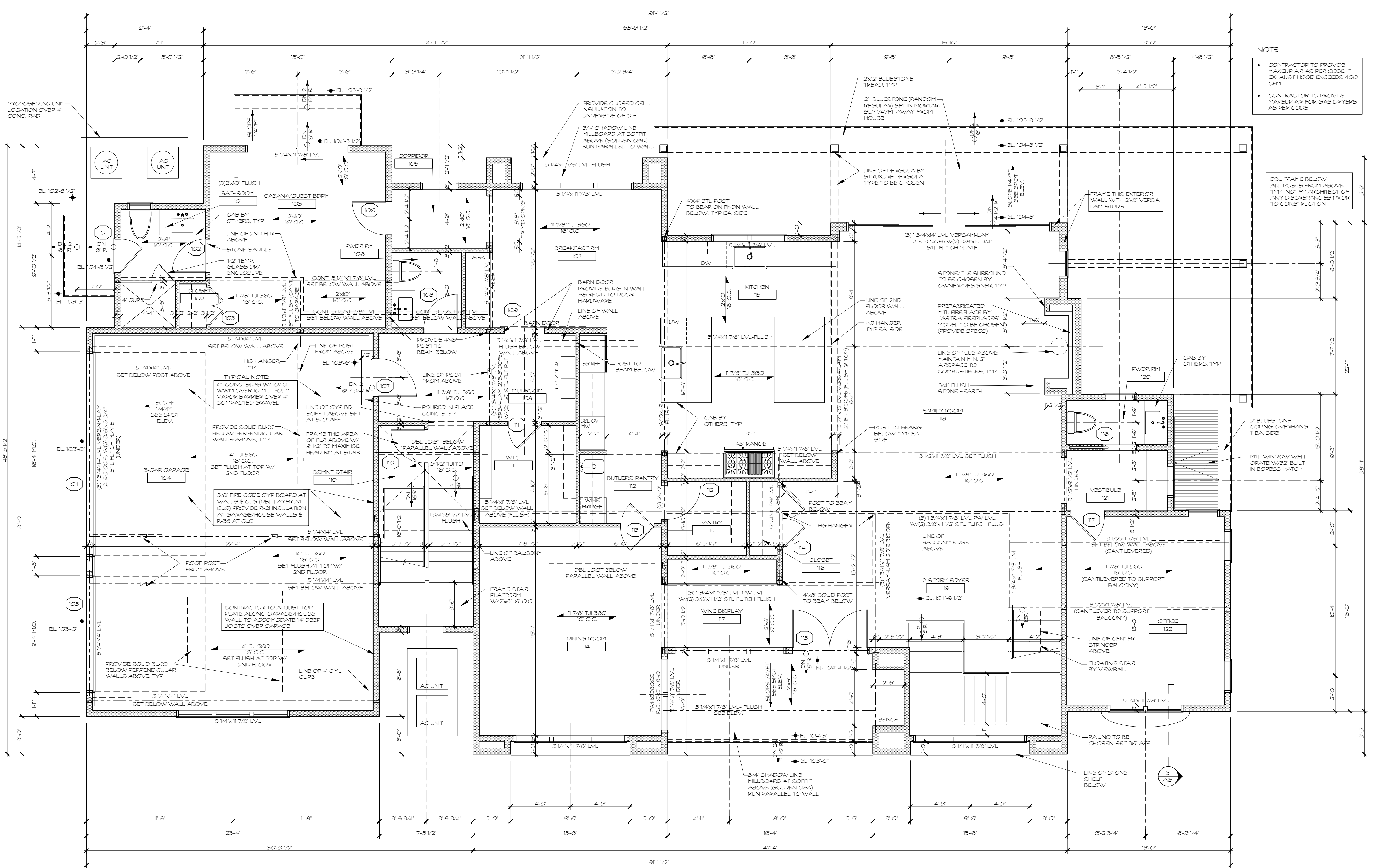
- ### BEAM POCKET NOTE
- ALL WOOD GRIDDERS INTO MASONRY WALL SHALL BE FLASHED WITH COPPER TO AVOID CONTACT BETWEEN WOOD AND MASONRY. PROVIDE 1/2" AIRSPACE BETWEEN GRIDER & MASONRY. SEAT GRIDDERS OVER PT 2x4" PLATE BOLTED TO WALL W/ 1/2" STEEL ANCHOR BOLT. NAL GRIDER TO PT. PLATE
- ### TYP NOTES:
- CONTRACTOR TO DOUBLE JOISTS AS INDICATED AND BELOW ANY PARALLEL WALL, CABINETS, BUILT-INS AND FLOOR OPENINGS.
  - 3/4" T&G PLYWOOD SUBFLOOR GLUED AND SCREWED.
  - FURR OUT W/ 2x4" 16" O.C. W/ PT PL & 1/2" GYP BD PN TYP. SET STUDS 1/2" FROM P.O. IN ON WALL TYP UNO. -SEE WALL SECTION FOR ADDITIONAL INFO.
- ### NOTE
- PRE BLOCK BASEMENT WALLS @ PERIMETER

Peter J. DiToro, RA  
 Project Architect  
 82 North Summit St., Tenafly, NJ 07670  
 201-569-7500 fax 201-569-7525  
 www.fdsarchitects.com



dwg: PROP SECOND FLOOR PLAN  
 project: NEW RESIDENCE  
 client: Ferraro, Ron Residence  
 12 Irene Court  
 Demarest, NJ 07627  
 project #: R-2350  
 scale: As Noted date: 1.24.24

A1



**NOTE:**

- CONTRACTOR TO PROVIDE MAKEUP AIR AS PER CODE IF EXHAUST HOOD EXCEEDS 400 CFM
- CONTRACTOR TO PROVIDE MAKEUP AIR FOR GAS DRYERS AS PER CODE

### WALL PARTITIONS

- NEW 2x6' OR 2x4' WALL CONSTRUCTION-SEE PLAN
- NEW CMU WALL - SEE PLAN FOR INFO.
- NEW POURED CONCRETE WALL SEE PLAN FOR INFO.

### FRAMING NOTES

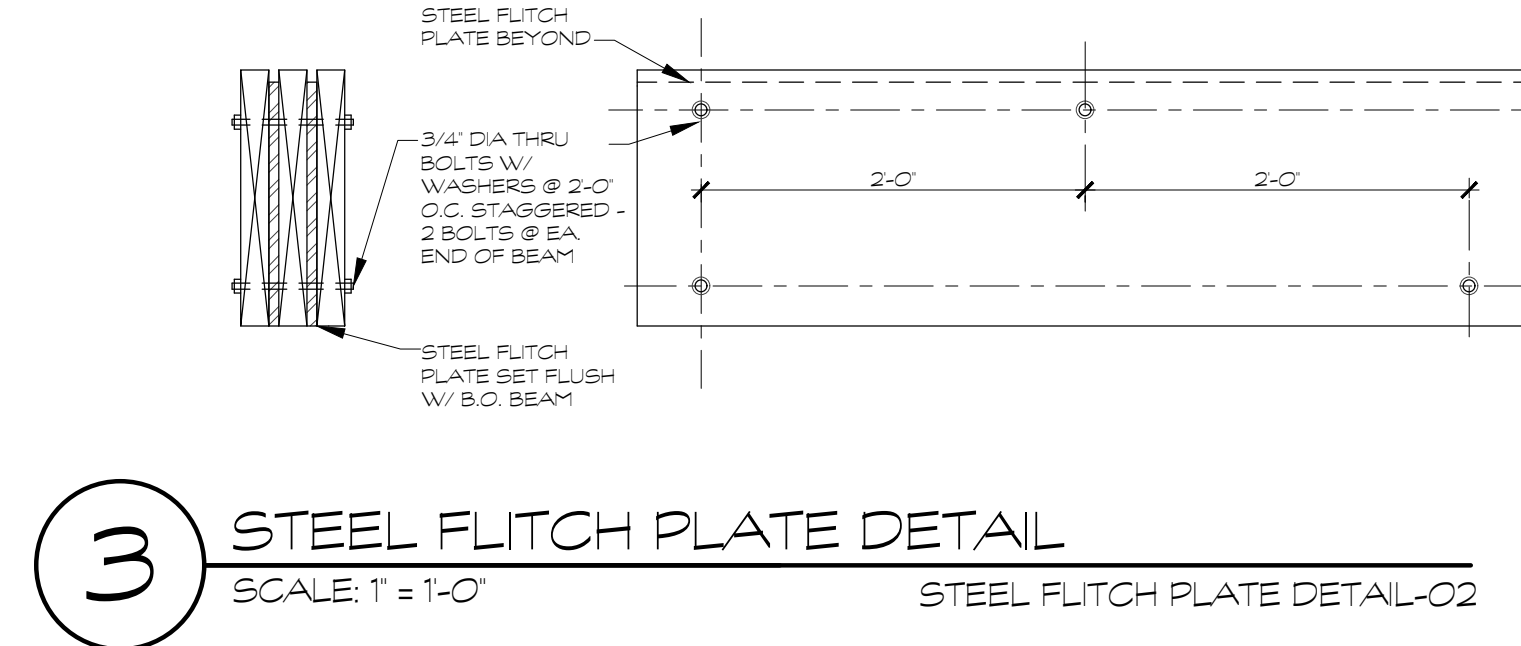
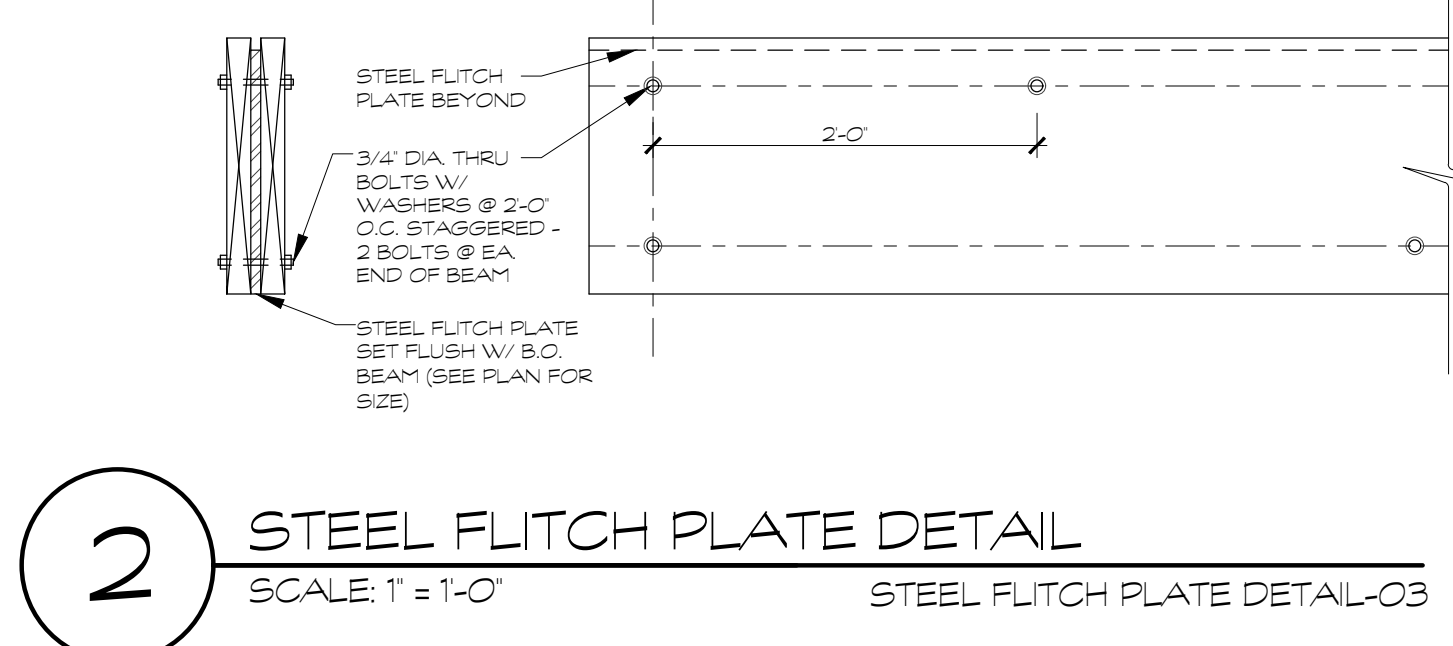
- STUDS & FRAMING MEMBERS DESIGN VALUES BASED ON ASTM STANDARD D1990-91. STUDS TO BE DOUGLAS FIR STUD GRADE OR BETTER. FRAMING MEMBERS: DOUGLAS FIR NO. 2 OR BETTER. MAXIMUM 19% MOISTURE CONTENT. INSTALL STUDDING IN ACCORDANCE WITH INDUSTRY STANDARDS. STUD SPACING SHOULD BE 16" WOOD BLOCKING TO STUDS FOR SUPPORT OF WALL CABINETS, TOILET ACCESSORIES AND HARDWARE, ETC. COORDINATE INSTALLATION OF BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL WORK PLACED IN OR BEHIND PARTITION FRAMING.
- LVL - LAMINATED VENEER LUMBER MUST HAVE A RATING OF 2.0E (MODULUS OF ELASTICITY). LVL SIZED AS PER CONSTRUCTION DOCUMENTS. NOTE: (1)3-1/2" THICK BEAM MAY BE SUBSTITUTED FOR (2)3-1/4" MEMBER. DOUBLE MEMBERS SHALL BE NAILED WITH MINIMUM 2 ROWS 16d COMMON NAILS 12" O.C. TRIPLE MEMBERS SHALL BE NAILED WITH 3 ROWS 16d COMMON NAILS 12" O.C. (STAGGERED). CUTTING AND HOLE LOCATION SHALL BE ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATION. HANGERS AS MANUFACTURED BY UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. MINIMUM BEARING 3" EACH END.
- WOOD I-BEAM JOISTS MUST COMPLY WITH ASTM D5055 BY APA-THE ENGINEERED WOOD ASSOCIATION. FLANGE AND DEPTH AS INDICATED ON CONSTRUCTION DOCUMENTS. JOIST HANGERS TO BE EITHER UNITED STEEL PRODUCTS OR SIMPSON STRONG-TIE. INSTALL AND BRACE WOOD I-BEAMS IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS. MINIMUM AND BEARING TO BE 1-3/4". MINIMUM INTERMEDIATE BEARING LENGTH IS 3'-1/2". CUTTING AT HOLE LOCATIONS ONLY AS PERMITTED BY MANUFACTURERS SPECIFICATIONS. STORE AND HANDLE JOISTS TO PROTECT AGAINST CONTACT WITH DAMP AND WET SURFACES, EXPOSURE TO WEATHER, BREAKAGE AND DAMAGES.

\* RAFTERS, CEILING JOISTS, AND COLLAR TIES SHALL BE MECHANICALLY FASTENED AS PER TABLE R502.5.1 (9) I.R.C.

### HEADERS SHALL BE AS FOLLOWS: (UNLESS NOTED OTHERWISE ON DRAWINGS)

(2) 2x10'	4'-0" OPENING OR LESS
(2) 2x12'	5'-0" OPENING OR LESS
(2) 2x12' OR (2) 1 3/4"x9 1/2' LVL	6'-0" OPENING OR LESS

**1** PROPOSED FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
LIVABLE AREA: 2,775 SQFT  
GARAGE AREA: 700 SQFT



**Peter J. DiToro**  
ARCHITECTS

peter.j.d@tda.com  
rj\_1012148  
82 north summit st. tenafly, nj 07670  
201-569-7500 fax 201-569-7525  
www.pjdiarchitects.com

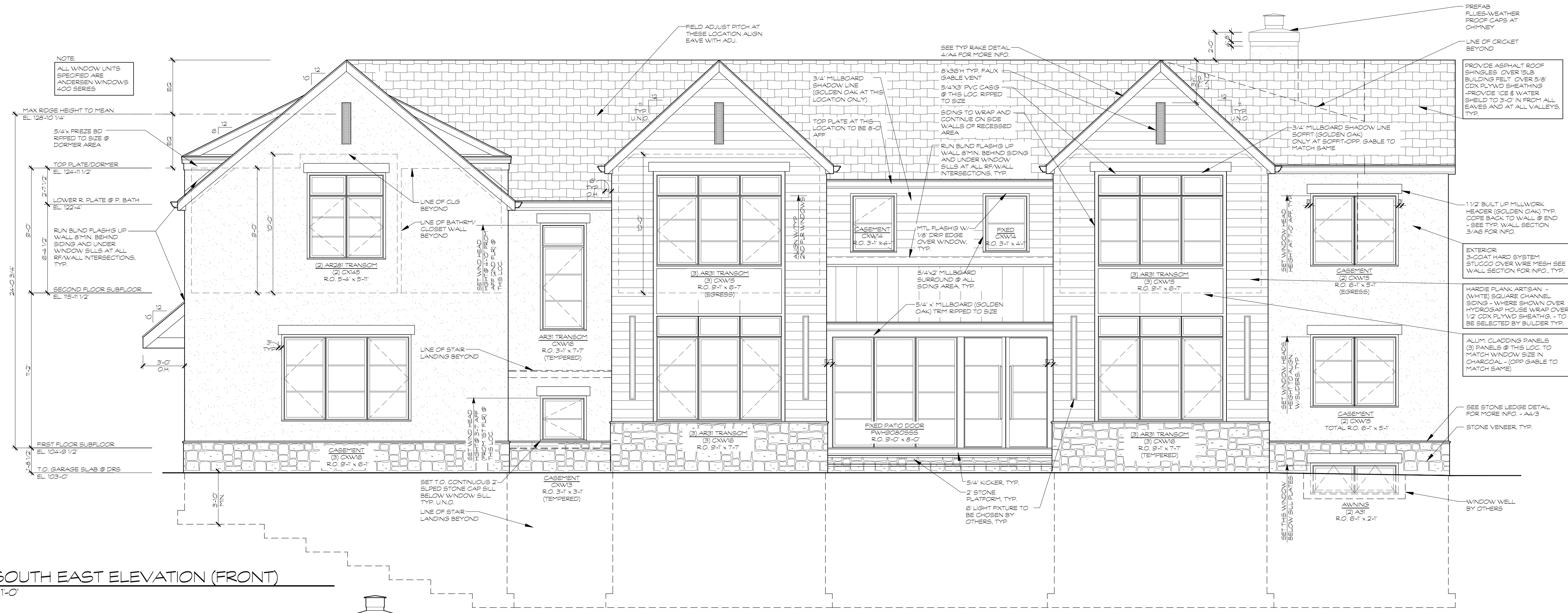
**PJ Architects**

PROP FIRST FLOOR PLAN  
& DETAILS  
project: NEW RESIDENCE  
client: Ferrano, Ron Residence  
12 Irene Court  
Demarest, NJ 07627  
project #: R-2850  
scale: As Noted date: 1.24.24

**A2**







**1** PROP. SOUTH ELEVATION (FRONT)  
SCALE: 1/4" = 1'-0"



**2** PROP. REAR ELEVATION  
SCALE: 1/4" = 1'-0"

*Peter J. ditto*

peter.j.ditto, ra  
rj\_1012148

82 north summit st, tenafly, nj 07670  
201-569-7500 fax 201-569-7525  
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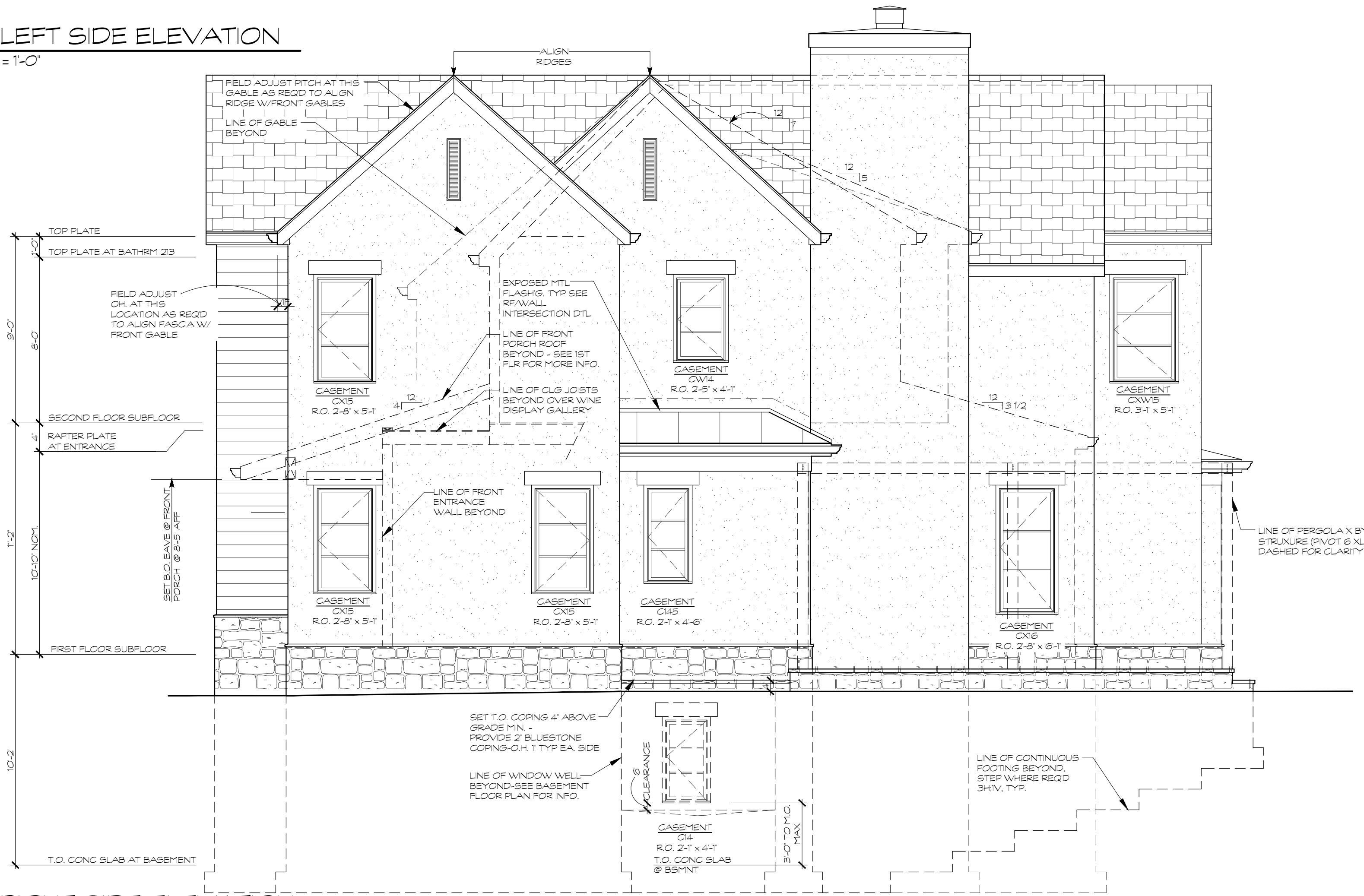
**FD**  
Architects

PROJECTIONS  
project: NEW RESIDENCE  
client: Fernando, Ron Residence  
12 Irene Court  
Demarest, NJ 07627  
project #: R-2850 date: 1.24.24  
scale: As Noted

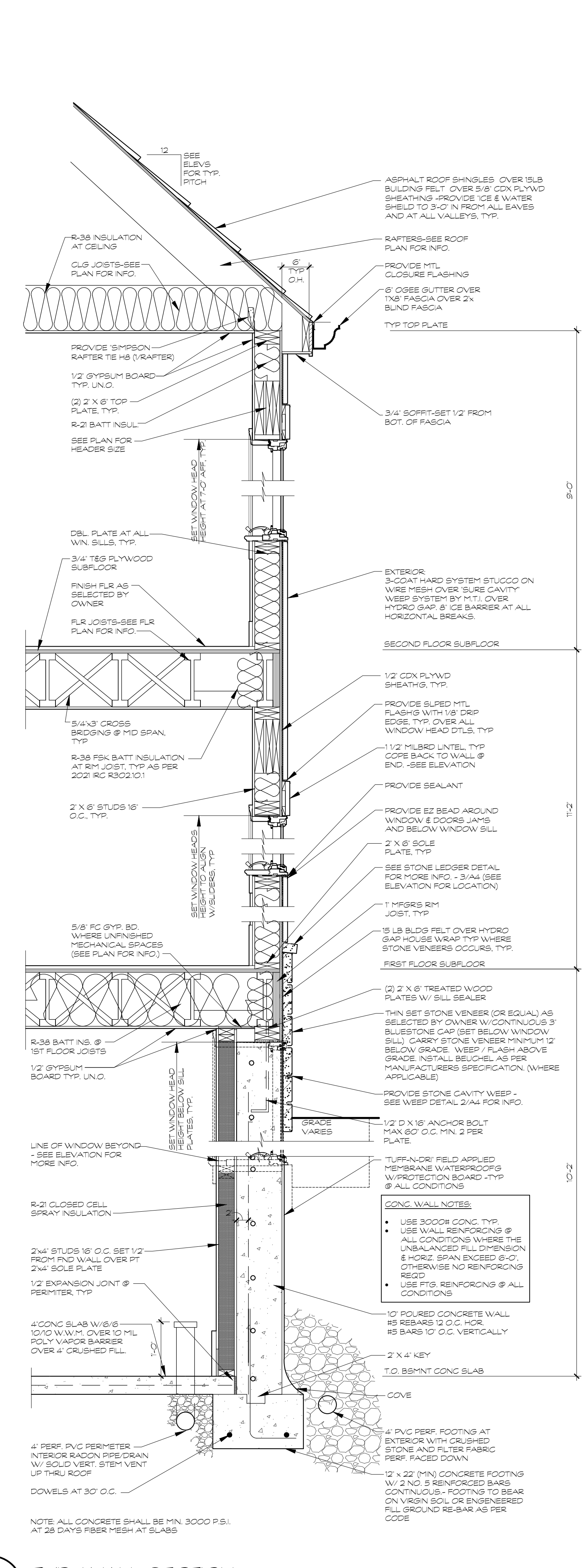
**A5**



1 PROP. LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



2 PROP. RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 TYP. WALL SECTION  
SCALE: 3/4" = 1'-0"  
FERMANO RON\_O1\_WALL SECTION

ROOF/  
ELEVATION  
NOTES

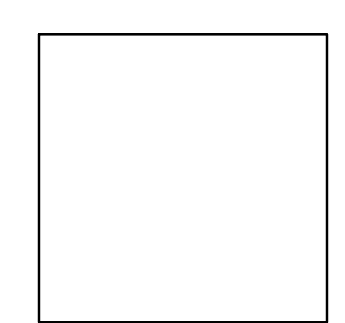
**NOTE:**  
VERIFY ROUGH OPENINGS FOR WINDOWS WITH MANUFACTURERS SPECIFICATIONS PRIOR TO FRAMING OF OPENINGS

**NOTE:**  
FINAL RIDGE HEIGHT OF PROPOSED ADDITION SHALL BE ESTABLISH IN FIELD WITH ENGINEER TO CONFORM WITH THE ZONING REQUIREMENT FOR BUILDING HEIGHT. PROPOSED ROOF PITCH TO BE MODIFIED AS REQUIRED TO CONFORM TO REQUIRED BUILDING HEIGHT.

**NOTE:**  
PROVIDE VENTED RIDGES AND SOFFITS WITH FIBERGLASS BATT INSULATION. IF SPRAYED INSULATION, NO RIDGE OR SOFFIT VENTS. TYPICAL UNLESS NOTED.

**NOTE:**  
FINAL LOCATION OF GUTTERS, AND LEADERS SHALL BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.

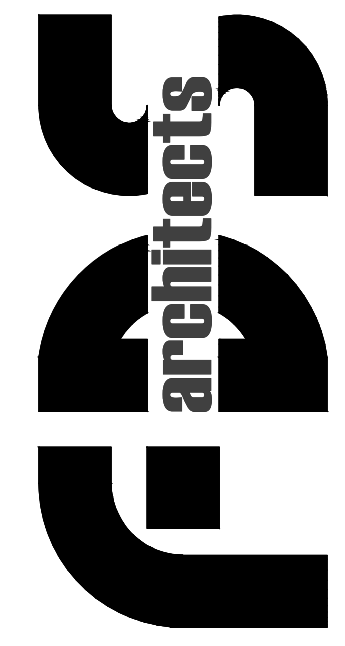
**CASEMENT WINDOWS**  
CASEMENT WINDOWS SHALL RECEIVE CHECK RAIL TO MATCH DBL HUNG APPEARANCE. TYP. WHERE APPLICABLE.



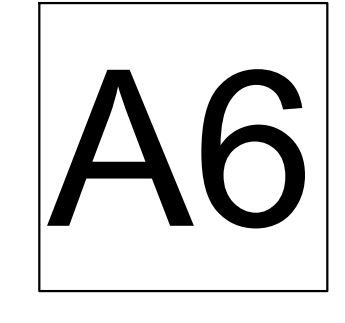
*Peter J. d'Amico*

peter.j.dito, ra  
rj\_A1012148

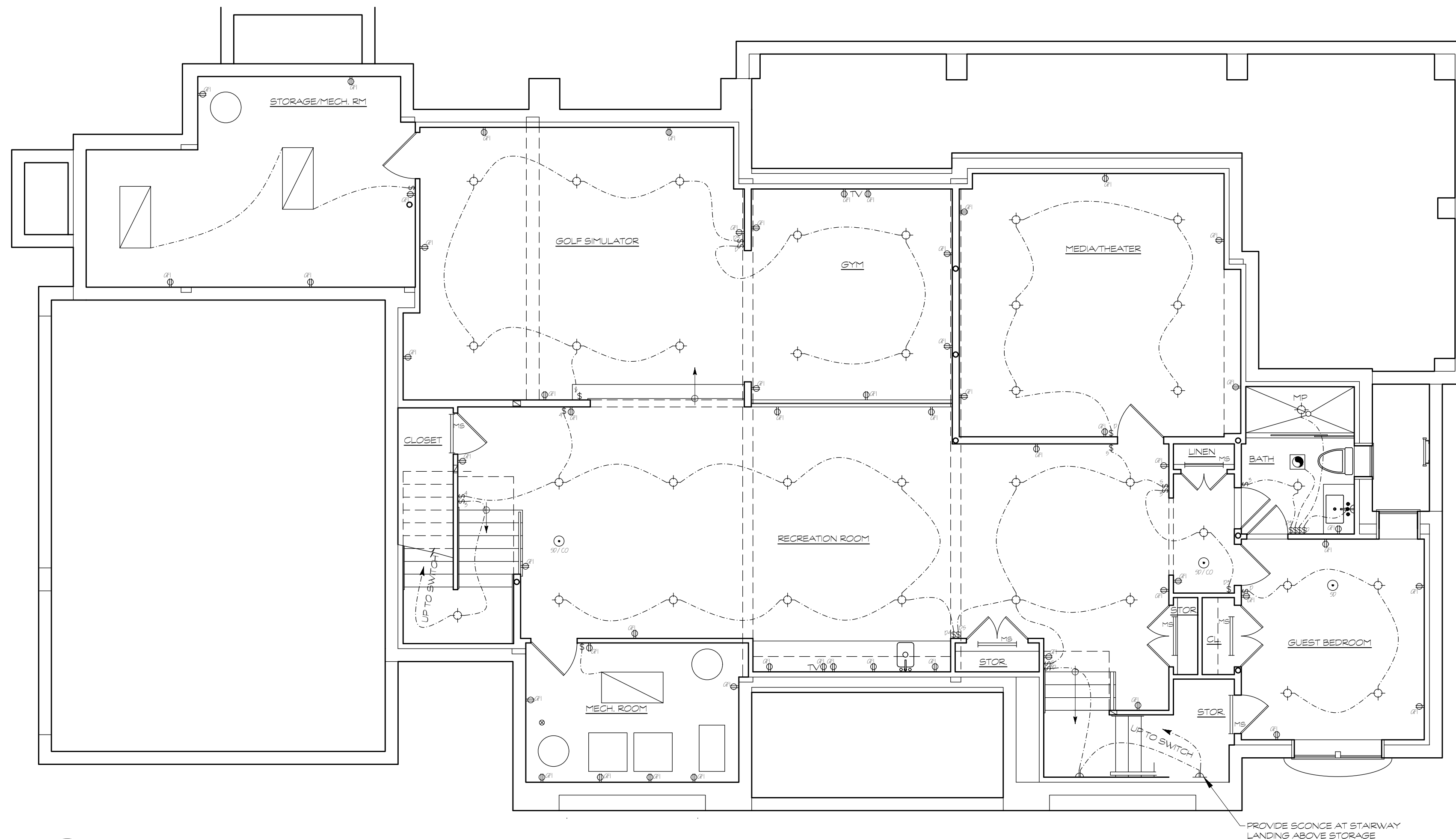
82 north summit st, tenafly, nj 07670  
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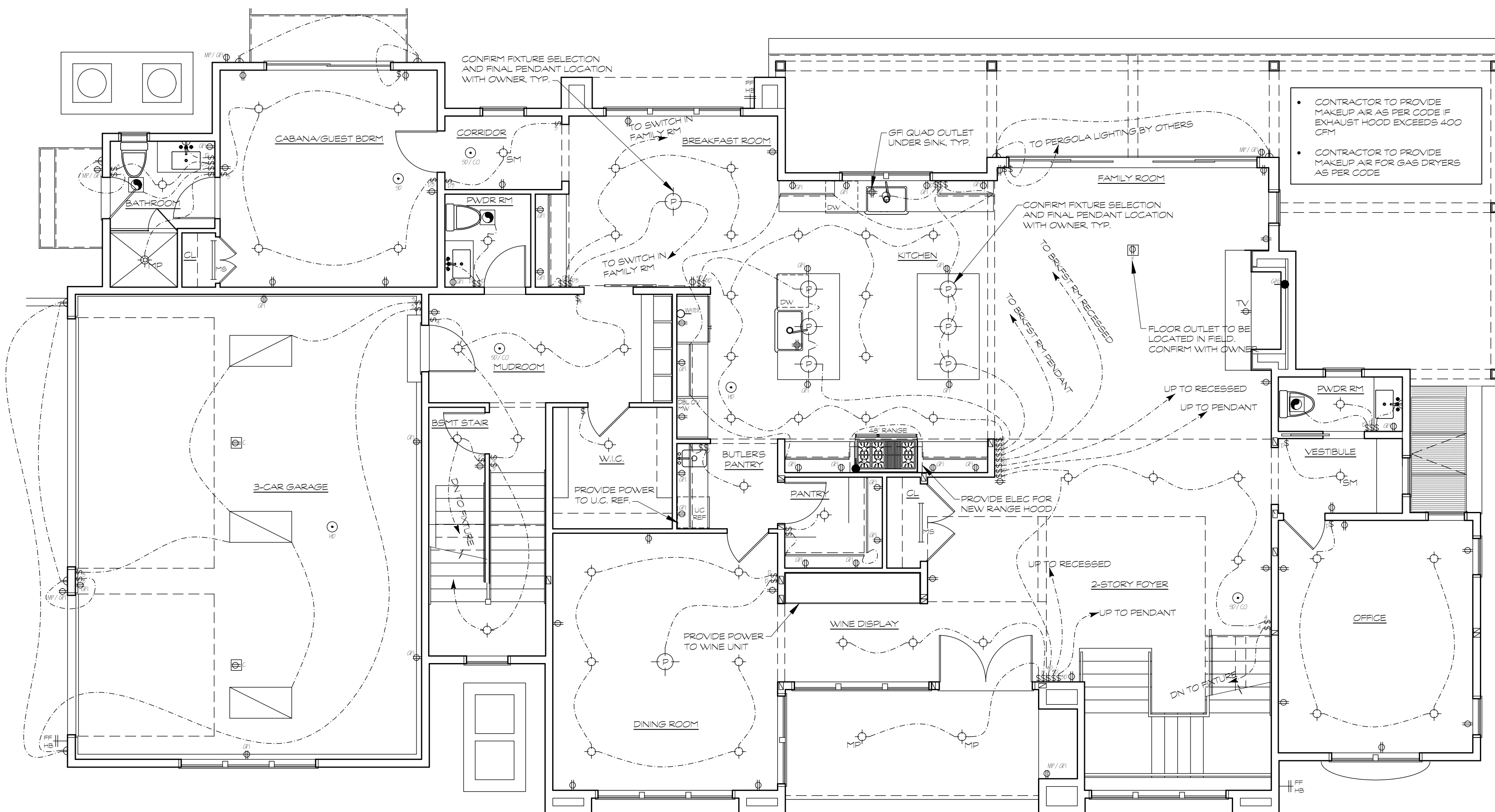
dwg: PROP ELEVATIONS  
project: NEW RESIDENCE  
client: Fermano, Ron Residence  
12 Irene Court  
Demarest, NJ 07627  
project #: R-2850  
scale: As Noted date: 1.24.24







**1** PROPOSED BASEMENT ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"



**2** PROPOSED FIRST FLOOR ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"

**ELEC. LEGEND**

- SURFACE MOUNTED LED
- LED RECESSED DN-LIGHT 4'
- PORCELAIN LAMP HOLDER FOR
- LED LIGHT/FAN COMBO
- MOISTURE PROOF LED
- SLOPED CEILING RECESSED LED
- RECESSED LED DN-LIGHT W/ SQUARE TRIM
- PENDANT FIXTURE
- CLOSET LIGHT
- CLOSET LIGHT W/ MOTION SENSOR
- CLOSET LIGHT W/ DOOR SWITCH
- UNDERCOUNTER LED LIGHT
- LED TRACK LIGHT
- LED STRIP LIGHT
- 2 x 4 LED FLAT PANEL
- 2 x 4 LED FLAT PANEL
- 1 x 4 LED FLAT PANEL
- INFRARED HEATER
- SWITCH - SINGLE POLE
- SWITCH - 3 WAY
- SWITCH WITH DIMMER
- DOOR SWITCH
- PILOT LIGHT INDICATOR SWITCH
- SWITCH - MOTION SENSOR
- DUPLEX 10 V. GROUND FAULT PROTECTION DUPLEX 10 V.
- DUPLEX 10 V. SWITCH TOP ONLY
- (2) DUPLEX 10 V.
- CLG MNT DUPLEX
- FLOOR DUPLEX
- HEAT DETECTOR
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- TELEPHONE JACK LOCATED IN FIELD BY OWNER
- DATA LINE FOR TV (CAT 6)
- EXHAUST FAN ONLY (VENTED TO EXTERIOR)
- DISCONNECT FOR STEAM UNIT LOCATED BY OWNER
- CABLE TV LOCATED IN FIELD BY OWNER
- WATER CONNECTION
- GAS CONNECTION
- WALL MTD FIXTURE
- FLOOD LIGHT
- MOTION ACTIVATED SECURITY CAMERA
- RECESSED MOTION SENSOR PATH LIGHT W/ OVER RIDE SWITCH
- ELEC. JUNCTION BOX W/ POWER AS REQD
- DOOR BELL
- EXHAUST FAN ONLY (VENTED TO EXTERIOR)
- DISCONNECT FOR STEAM UNIT LOCATED BY OWNER
- CABLE TV LOCATED IN FIELD BY OWNER
- WATER CONNECTION
- GAS CONNECTION
- WALL MTD FIXTURE
- FLOOD LIGHT
- MOTION ACTIVATED SECURITY CAMERA
- RECESSED MOTION SENSOR PATH LIGHT W/ OVER RIDE SWITCH
- ELEC. JUNCTION BOX W/ POWER AS REQD
- DOOR BELL

**HEATING VENTILATION & AIR CONDITIONING NOTES:**

- HEATING SYSTEM TO BE DESIGNED AND INSTALLED TO PROVIDE HEATING TO ALL FINISHED AREAS OF RESIDENCE TO ACHIEVE A MINIMUM TEMPERATURE OF 75 DEGREES F. WHEN OUTDOOR TEMPERATURE IS ZERO DEGREES F.
- COOLING SYSTEM TO BE DESIGNED AND INSTALLED TO PROVIDE COOLING TO ALL FINISHED AREAS OF RESIDENCE TO ACHIEVE A MINIMUM TEMPERATURE OF 75 DEGREES F. DRY BULB AND 67 DEGREES F. WET BULB WHEN OUTDOOR TEMPERATURE IS 95 DEGREES F.
- ALL BATHROOMS AND LAVATORIES TO BE PROVIDED WITH A SYSTEM OF MECHANICAL EXHAUST SATISFYING APPLICABLE VENTILATION STANDARDS.
- ALL WORK TO BE DONE AS PER APPLICABLE CODES INCLUDING BUT NOT LIMITED TO GOVERNMENT AGENCIES, LOCAL FIRE DEPARTMENTS, NATIONAL FIRE PROTECTION ASSOCIATION, FIA UTILITY COMPANY, ASME, NATIONAL FIRE PROTECTION CODE, AIR STANDARDS, UNDERWRITERS INSPECTION AGENCIES, ETC.
- ALL DUCTWORK LOCATED IN UNHEATED/UNCONDITIONED AREAS, INCLUDING ATTICS, SHALL BE EXTERNALLY INSULATED.
- HVAC CONTRACTOR WILL ASSUME TOTAL RESPONSIBILITY FOR THE DESIGN, INSTALLATION, AND SATISFACTORY OPERATION OF ALL HVAC SYSTEMS INCLUDING THE COMPLIANCE WITH ALL AFOREMENTIONED REQUIREMENTS.
- HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ELECTRICAL AND PLUMBING SUB-CONTRACTORS TO ENSURE PROPER INSTALLATION OF ALL EQUIPMENT.

**PLUMBING NOTES:**

- ALL PLUMBING WORK, EQUIPMENT, ETC. SHALL BE IN ACCORDANCE WITH ALL LOCAL ORDINANCES, REGULATIONS, AND CODES AS ADOPTED BY THE LOCAL GOVERNING STATE, COUNTY, AND TOWN AUTHORITIES.
- THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REQUIREMENTS WHETHER OR NOT INFORMATION AND/OR WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS. ALL WORK SHALL BE INSPECTED AS REQUIRED DURING THE CONSTRUCTION PROCESS AND APPROVED AT THE END OF THE PROJECT BY THE TOWN PLUMBING INSPECTOR.
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- ELECTRICAL OUTLETS, FIXTURE LOCATIONS AND SWITCH LOCATIONS SHOWN ARE SUGGESTED ONLY. CONTRACTOR IS TO ADD OUTLETS TO COMPLY WITH CODE REQUIREMENTS AND CONFIRM ALL LOCATIONS IN FIELD WITH OWNER. SEE FLOOR PLANS AND REFLECTED CEILING PLANS.
- ALL RECESSED FIXTURES (INCLUDING LAMPS), OUTLETS, SWITCHES, ETC. ARE TO BE SUPPLIED BY CONTRACTOR UNLESS SPECIFICALLY NOTED OTHERWISE ON THE ELECTRICAL LEGEND. SURFACE AND PENDANT MOUNTED FIXTURES ARE TO BE SUPPLIED BY THE OWNER AND INSTALLED BY THE CONTRACTOR AS NOTED ON THE ELECTRICAL LEGEND.
- ALL PERMANENT LIGHTING FIXTURES WILL BE HIGH EFFICIENCY FIXTURES.
- PROVIDE A GF CIRCUIT AT ANY RECESSED FIXTURES USED IN CLOSETS AND ANY RECESSED FIXTURES USED OVER BATHTUBS, SINKS, AND EXTERIOR. LIGHTING FIXTURES LOCATED OVER TUB/SPA SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER AND/OR, RECESSED FIXTURES TO HAVE A GLASS OR PLASTIC LENS WITH ELECTRICALLY ISOLATED TRIM, SUITABLE FOR ALL DAMP LOCATIONS.
- PROVIDE EMERGENCY SERVICE DISCONNECT IN A READILY ACCESSIBLE OUTDOOR LOCATION.
- PROVIDE A SURGE-PROTECTIVE DEVICE (SPD) AT THE SUB PANEL.
- ELECTRICAL SUB PANEL SHALL BE GROUNDED TO CONTINUOUS NOTED FOOTING RE-BAR. ELECTRICAL PERMIT REQUIRED.
- ALL WORK SHALL BE PERFORMED BY A LICENSED N.J. ELECTRICIAN. UTILIZE NO. 4 WIRE OR BETTER FASTENED TO REBAR WITH AN APPROVED CLAMP.

**NOTE:**

CONTRACTOR SHALL COORDINATE WITH OWNER FOR TELEPHONE, DATA, AND CABLE QUANTITY AND LOCATIONS.

**NOTE:**

ELEC CONTRACTOR SHALL PROVIDE DIMMER SWITCHES THROUGHOUT EXCEPT AS NOTED.

CONTRACTOR TO PROVIDE ELECTRICAL POWER FOR THE FOLLOWING KITCHEN APPLIANCES-FINAL LOCATION SHOULD BE VERIFIED WITH KITCHEN DESIGNER

- REF/FRZ
- DISHWASHER
- COOK TOP
- WARMING DRAWERS
- EXHAUST HOOD
- INSTANT HOT
- MICROWAVE
- WINE REFRIGERATOR
- DBL OVEN
- DISPOSALS
- \*FINAL KITCHEN PLAN BY OTHERS

*Pt. Out*

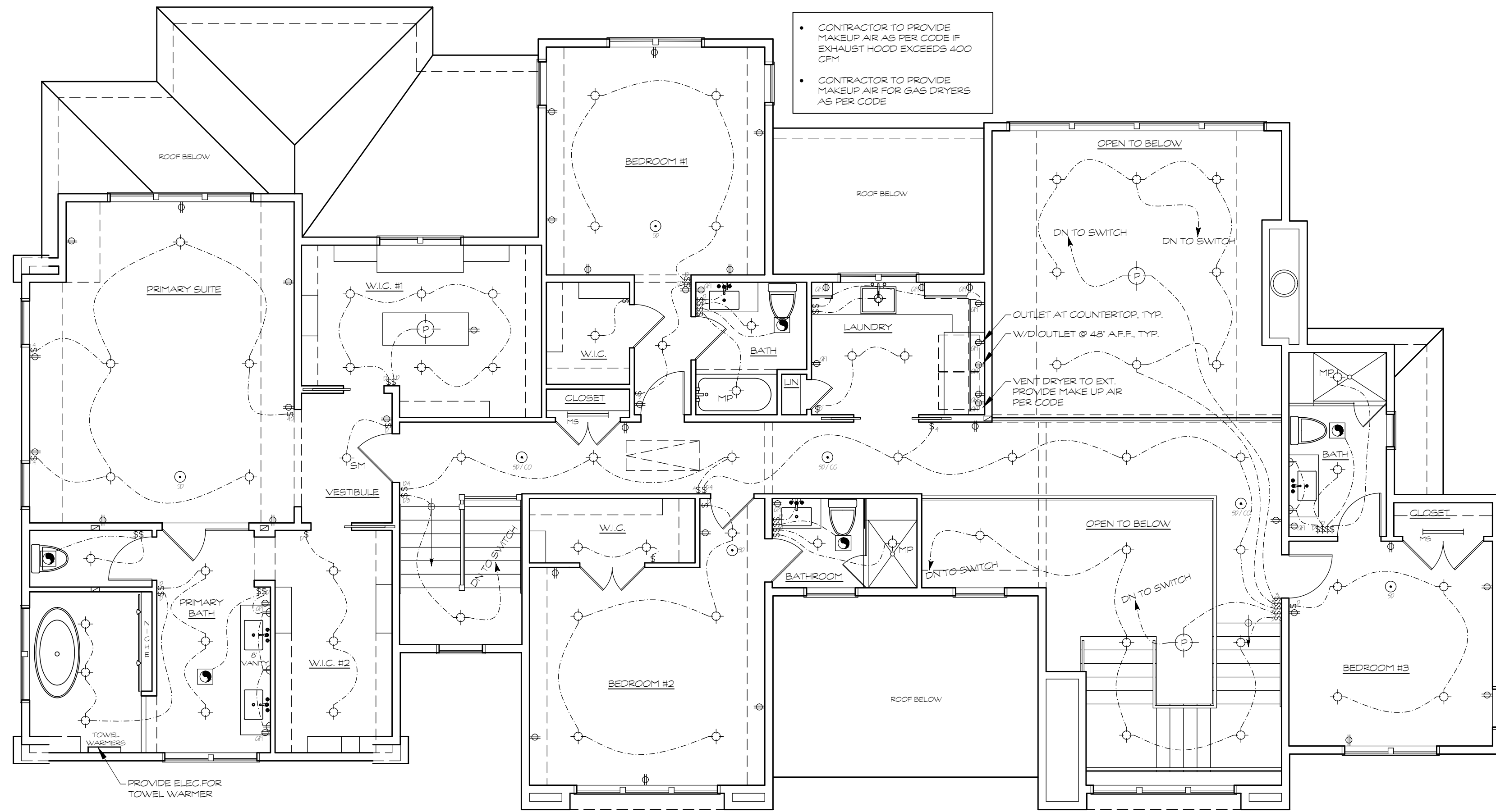
peter j. ditto, ra  
rj 1/01/21/48

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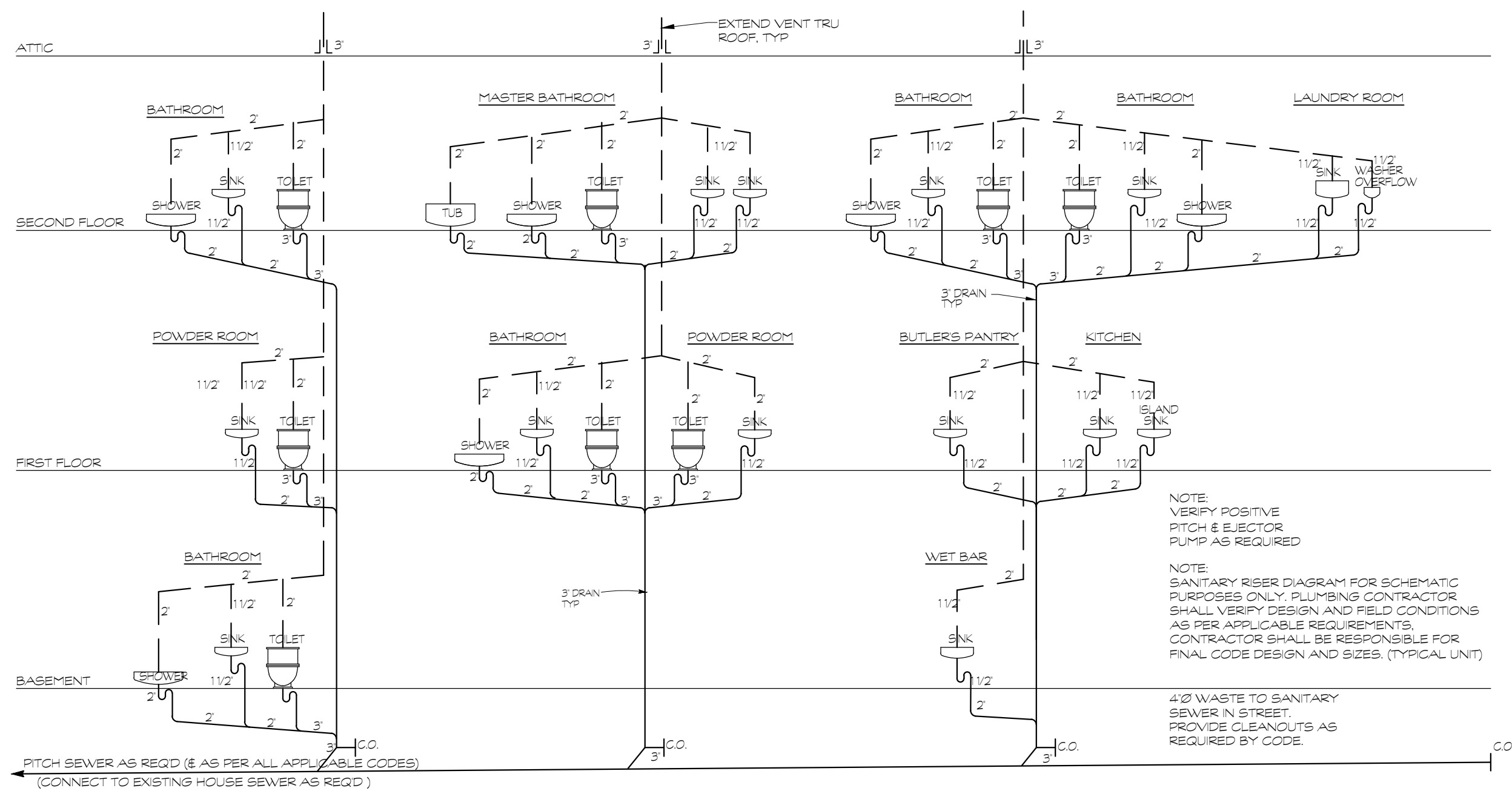
**Architects**

dwg: PROP ELECTRICAL PLANS  
project: NEW RESIDENCE  
client: Fernando, Ron Residence  
12 Irene Court  
Demarest, NJ 07627  
project #: R-22850  
scale: As Noted date: 1.24.24

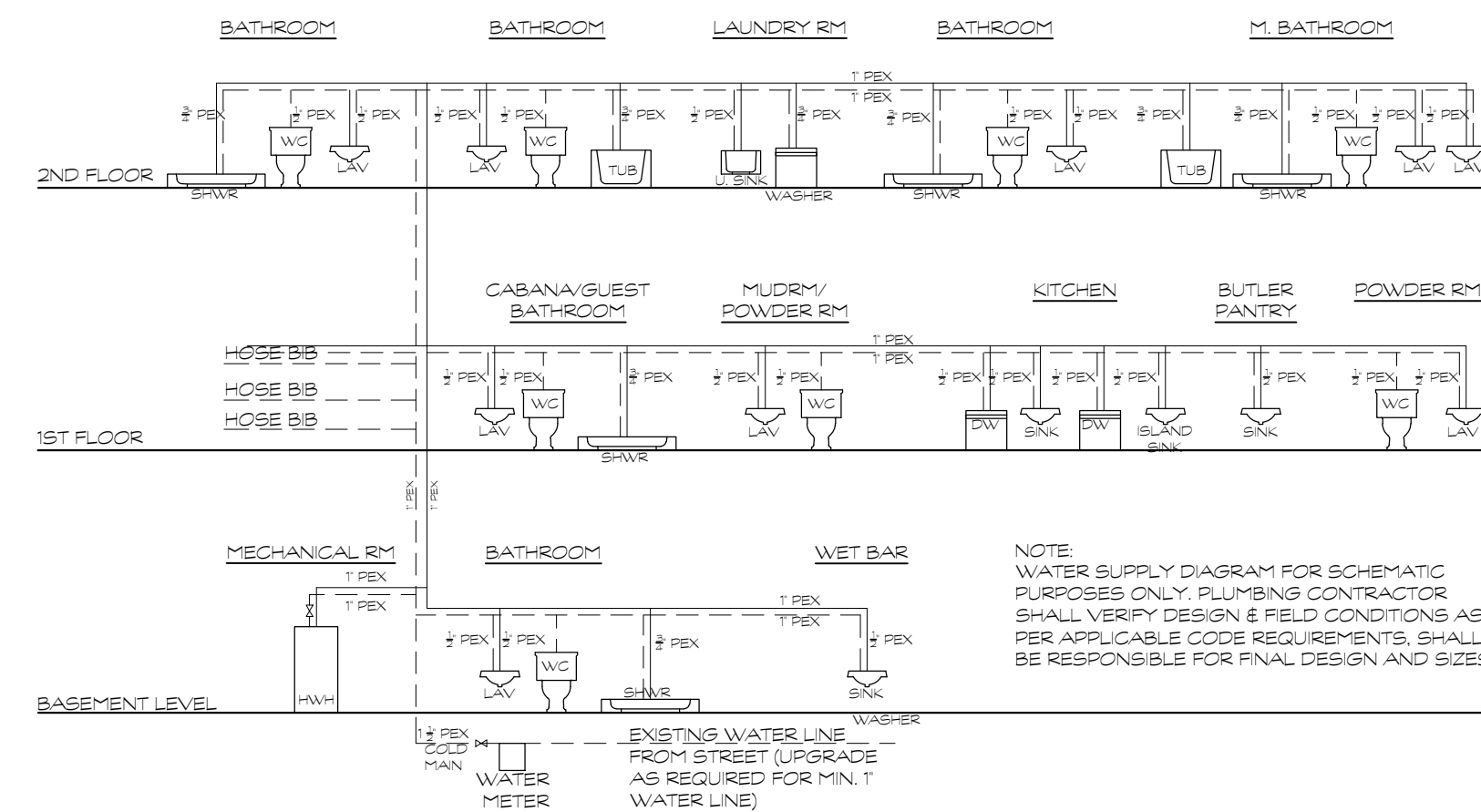
**E1**



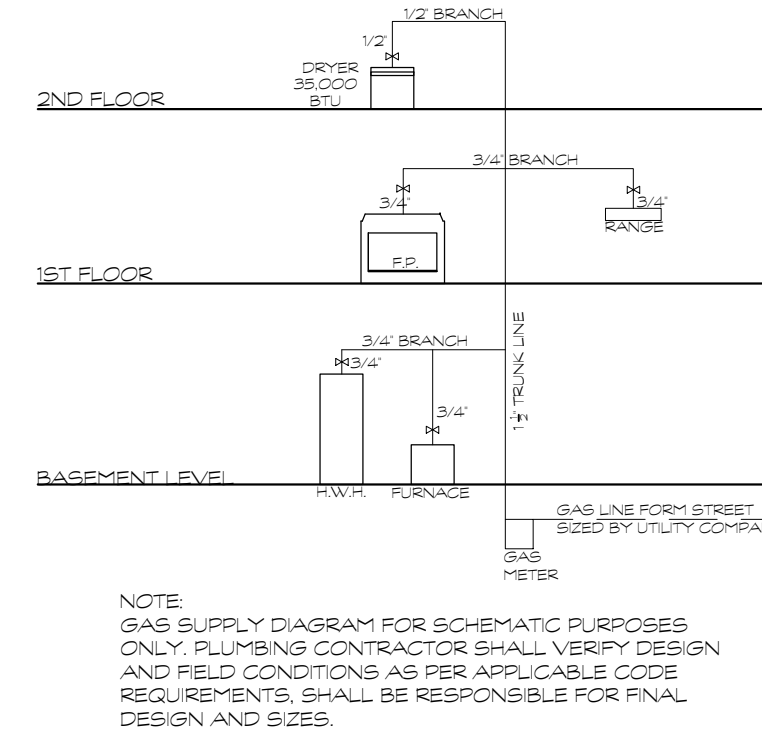
**1** PROPOSED SECOND FLOOR ELECTRICAL PLAN  
SCALE: 3/16" = 1'-0"



**2** PROPOSED PLUMBING RISER DIAGRAM  
SCALE: NTS



**3** PROPOSED WATER SUPPLY DIAGRAM  
SCALE: NTS



**4** PROPOSED GAS SUPPLY DIAGRAM  
SCALE: NTS

**ELEC. LEGEND**

- ◉ SURFACE MOUNTED LED
- ◉ LED RECESSED DN-LIGHT 4"
- ◉ PORCELAIN LAMP HOLDER FOR
- ◉ LED LIGHT/FAN COMBO
- ◉ MOISTURE PROOF LED
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- ◉ CLOSET LIGHT W/ DOOR SWITCH
- ◉ UNDERCOUNTER LED LIGHT
- ◉ LED TRACK LIGHT
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- REF/FRZ
- COOK TOP
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- DISPOSALS
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- WINE REFRIGERATOR
- \*FINAL KITCHEN PLAN BY OTHERS

**PdQ**

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**FD**  
Architects

dwg: PROP ELEC. PLANS & MEC. DIAG.  
project: NEW RESIDENCE  
client: Fermano, Ron Residence  
12 Irene Court  
Demarest, NJ 07627  
project #: R-2350  
scale: As Noted  
date: 1.24.24

**E2**