

Michael E. Dipple
 8/20/2024
 Date

Michael E. Dipple, P.E.
 New Jersey Professional Engineer #24GE04081200

APPLICANT/OWNER:
 CARLY WILLIAMS
 22 DRURY LANE
 DEMAREST, NJ 07627
 201.220.8572

ARCHITECT:
 FDS ARCHITECTS
 82 NORTH SUMMIT STREET
 TENAFLY, NEW JERSEY
 201.569.7500 (Office)

SURVEYOR:
 LAKELAND SURVEYING, INC.
 4 W MAIN STREET
 ROCKAWAY, NJ 07866
 973.625.5670 (Office)

NO.	REVISION	DATE	DESCRIPTION
1	INITIAL SUBMISSION TO ZONING BOARD OF ADJUSTMENT	8/20/24	

PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
 22 DRURY LANE
 BOROUGH OF DEMAREST
 BERGEN COUNTY, NEW JERSEY
 BLOCK: 10, LOT: 648
 TAX MAP: 13

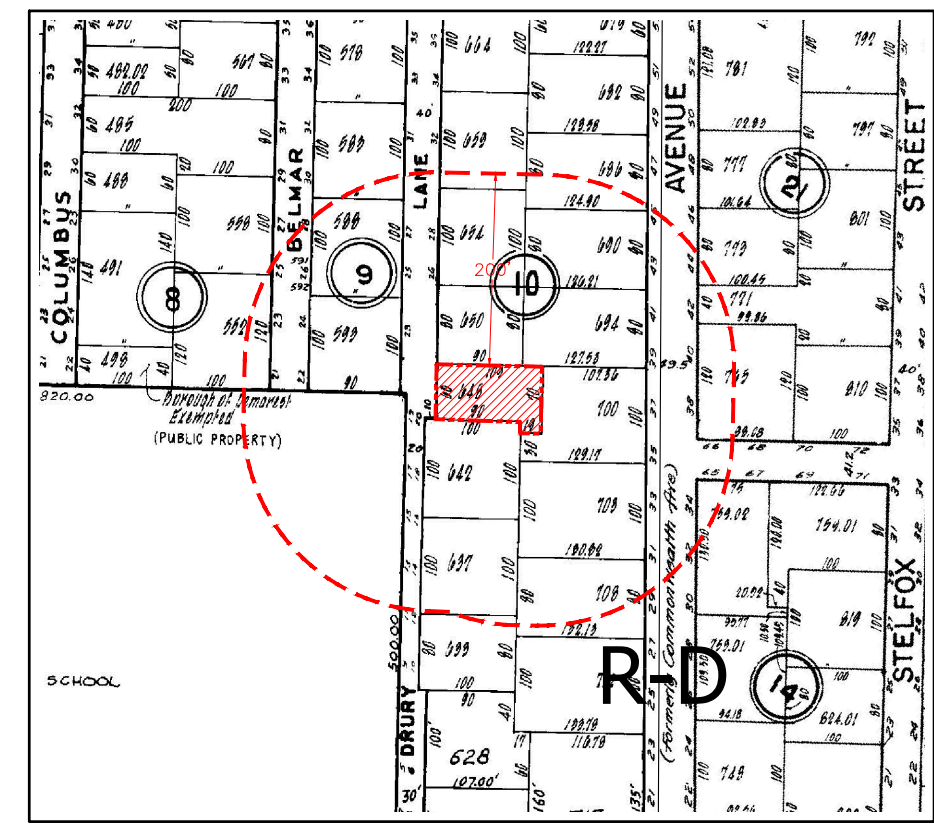
DRAWING TITLE:

EXISTING CONDITIONS & DEMOLITION PLAN

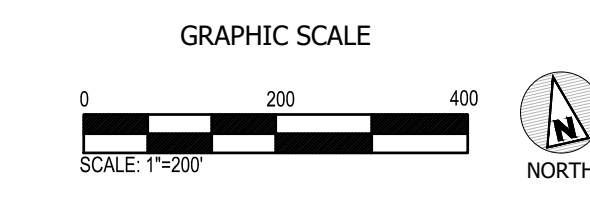
SCALE: REFER TO DRAWING
 ORIG. DATE: 6/4/2024
 DESIGNED: SMS
 APPROVED: JM/MED
 L2A PROJ. No.: 2401.098
 DRAWING No.: C-01

- PROJECT NOTES & REFERENCES:**
- THIS PROJECT REFERENCES A SURVEY PREPARED BY: WILLIAM C. BUCHOK, N.J.P.L.S. LIC. NO. 24GS0431900
 LAKELAND SURVEYING, 4 WEST MAIN ST, ROCKAWAY, NJ 07866
 973.625.5670 (PHONE) 973.625.4121 (FAX)
 DATED: 06/04/2024
 JOB NUMBER: 241467
 - ZONING DISTRICT: R-D (SINGLE-FAMILY RESIDENTIAL)
 - EXISTING/PROPOSED USE: SINGLE-FAMILY DWELLING
 - LOT AREA: 6,730 Sq. Ft. (± 0.15 Ac.)
 - PROPERTY LOCATION: BLOCK 10, LOT 648
 - PROPERTY ADDRESS: 22 DRURY LANE, DEMAREST, NJ 07627

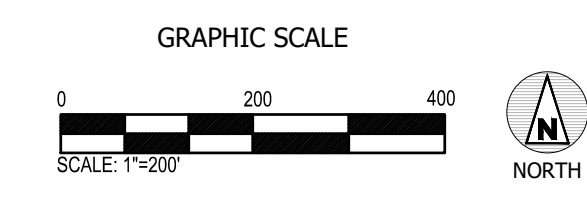
- DEMOLITION AND REMOVAL NOTES**
- CONTRACTOR SHALL PROTECT ALL UTILITIES AND SITE FEATURES SCHEDULED TO REMAIN.
 - ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
 - WHEREVER ASPHALT OR CONCRETE PAVEMENT IS REMOVED, THE CONTRACTOR SHALL SAW-CUT AND NEATLY TRIM THE EDGE OF REMAINING PAVEMENTS BEFORE INSTALLING NEW CONSTRUCTION. ASPHALT PAVEMENT SHALL BE REMOVED TO THE SUBGRADE.
 - WHERE REMOVAL OF CONCRETE CURB IS SHOWN ON THE CONTRACT DRAWINGS, THE REMOVAL LIMITS SHALL BE TO THE NEAREST CURB JOINTS.
 - DEMOLITION USING EXPLOSIVE, INCENDIARY, OR WRECKING BALL METHODS IS PROHIBITED.
 - CONDUCT DEMOLITION/REMOVAL OPERATIONS AND DISPOSAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH THE USE OF, OR ACCESS TO, ADJACENT BUILDINGS OR CONSTRUCTION SITE AREA. DO NOT UNNECESSARILY OBSTRUCT SIDEWALKS OR STREETS.
 - PROVIDE TEMPORARY INTERIOR SHORING, BRACING AND/OR SUPPORT AS REQUIRED ENSURING THAT MOVEMENT OR SETTLEMENT OF STRUCTURES TO BE DEMOLISHED IS SAFELY CONTROLLED AND COLLAPSE IS PREVENTED.
 - DO NOT DISTURB SERVICE TO OFF-SITE FIRE HYDRANTS IN ANY WAY WITHOUT WRITTEN APPROVAL OF THE ENGINEER. IF, WITH WRITTEN APPROVAL OF THE ENGINEER, WATER SERVICE TO ANY AREA IS INTERRUPTED, MAKE PROVISIONS TO ENSURE ADEQUATE FIRE PROTECTION FOR SUCH AREA.
 - AT ALL TIMES, MAINTAIN ACCESSIBILITY FROM THE STREET TO ALL FIRE HYDRANTS, TRAFFIC SIGNALS, POWER OR LIGHT POLES, MAILBOXES, AND SIMILAR UTILITY AND PUBLIC SERVICE ITEMS ADJACENT TO THE CONSTRUCTION SITE.
 - DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED AREAS, EXCEPT WHEN AUTHORIZED BY THE ENGINEER. PROVIDE TEMPORARY SERVICES DURING SUCH INTERRUPTIONS AS APPROVED BY THE ENGINEER.
 - DO NOT STORE ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE DEMOLITION OPERATIONS ON THE FLOOR OF PARTIALLY DEMOLISHED STRUCTURES OR ADJACENT CONSTRUCTION SITE AREAS.
 - DISPOSE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AWAY FROM THE CONSTRUCTION SITE.
 - DO NOT BURN, BURY, OR OTHERWISE DISPOSE OF DEBRIS, RUBBISH, OR OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
 - STORAGE OR SALE OF ITEMS OF SALVABLE VALUE TO THE CONTRACTOR IS PROHIBITED AT THE CONSTRUCTION SITE.



TAX & ZONING MAP



KEY MAP



TREE REMOVAL SCHEDULE

NO. OF TREES REMOVED	CALIPER/HEIGHT	CALIPER MAJOR TREE REMOVED	HEIGHT MINOR TREE REMOVED	NUMBER TREES REQUIRED	REQUIRED REPLACEMENT
0	N/A	3" TO LESS THAN 6"	6' TO LESS THAN 8'	NONE IF <3 TREES REMOVED	0
1	8" MAJOR	6" TO LESS THAN 9"	8' TO LESS THAN 10"	1 FOR EVERY 2 REMOVED	1
1	12" MAJOR	9" TO LESS THAN 12"	10" TO LESS THAN 12"	1 FOR EVERY TREE REMOVED	1
4	18" MAJOR (x3) 24" MAJOR	12" +	12' +	2 FOR EVERY 1 REMOVED	8
TOTAL REPLACEMENT TREES REQUIRED					10

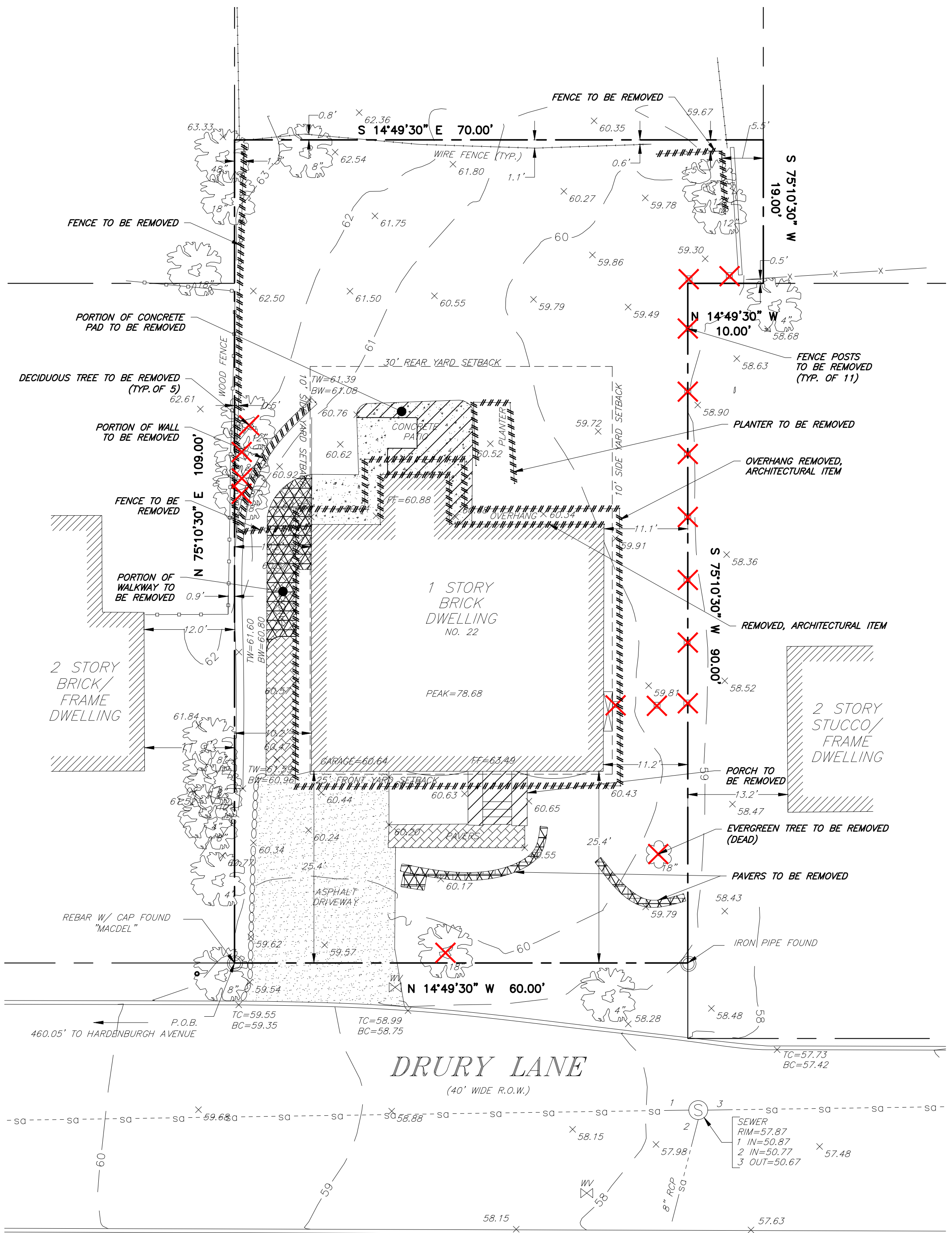
- §163-16 NO PERSON SHALL CUT DOWN OR REMOVE ANY COVERED TREE OR ENGAGE IN ANY SITE CLEARING UNTIL A TREE REMOVAL PERMIT HAS BEEN OBTAINED FROM THE BOROUGH.
- §163-19.A PERMITTED REMOVAL. NO COVERED TREE SHALL BE PERMITTED TO BE REMOVED UNLESS THE TREE
 - §163-19.A(1) IS DEAD OR POSES A SAFETY HAZARD.
 - §163-19.A(2) IS LOCATED WITHIN THE BUILDING FOOTPRINT OF A PROPOSED PRINCIPAL BUILDING OR ADDITION THERETO, FOR WHICH A CONSTRUCTION PERMIT HAS BEEN OBTAINED.
 - §163-19.A(3) IS LOCATED WITHIN THE AREA OF A PROPOSED ACCESSORY BUILDING, WALKWAY, OR OTHER STRUCTURE, FOR WHICH ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.
 - §163-19.A(4) HAS A DRIFLINE WHICH IS NOT IN A BUFFER AREA.
 - §163-19.A(5) IS PART OF A LANDSCAPING RENOVATION PROJECT ON A LOT USED FOR ONE- OR TWO-FAMILY RESIDENTIAL USE FOR WHICH A CERTIFICATE OF OCCUPANCY WAS ISSUED AT LEAST 24 MONTHS PRIOR TO THE DATE OF SUBMISSION OF THE APPLICATION FOR A TREE REMOVAL PERMIT.
 - §163-19.A(6) IS SPECIFICALLY PERMITTED TO BE REMOVED IN A SITE PLAN APPROVED PURSUANT TO THE MUNICIPAL LAND USE LAW
- §163-19.C(1) NO MITIGATION SHALL BE REQUIRED IN CONNECTION WITH TREE REMOVAL CONDUCTED PURSUANT TO A PERMIT ISSUED UNDER SUBSECTION A(1), (2) OR (3) ABOVE.
- §163-19.C(2) MITIGATION SHALL BE REQUIRED PURSUANT TO THIS SUBSECTION C IN THE EVENT OF TREE REMOVAL PURSUANT TO SUBSECTION A(4), (5) OR (6) ABOVE.
- §163-22.B(3) NO PERSON SHALL STORE OR PILE BUILDING MATERIALS OR DEBRIS OR PLACE CONSTRUCTION EQUIPMENT WITHIN 10 FEET OF ANY TREE.

LEGEND - EXISTING CONDITIONS & DEMOLITION

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
text	TEXT & NOTES	---	PAVEMENT EDGE
○	MANHOLE- NEW/RECONSTRUCT	==	CURB/DEPRESSED CURB
□	INLET	---	CONCRETE SIDEWALK
⊙	CLEANOUT	---	CONTOUR ELEVATION LINE
⊙/r	ROOF LEADER	70.25	SPOT ELEVATIONS
gv/vw	VALVE-TYPE		REMOVE LINEAR FEATURE
⊙/x	FIRE HYDRANT/FDC	×	REMOVE FEATURE
⊙/x	UTIL. POLE/W-LIGHT/W-TRANSF.		REMOVE FULL DEPTH ASPHALT
⊙/x	STREET/TRAFFIC SIGNS:		MILL ASPHALT
⊙/x	LIGHTS		REMOVE STRUCTURE
---	FENCE		REMOVE CONCRETE
st	STORM WATER		TREE/WOOD LINE
ss	SANITARY SEWER		BUSH/SHRUBS
w	WATER LINE		EVERGREEN/DECIDUOUS TREES
g	GAS LINE		
e	ELECTRIC LINE		
oh	OVERHEAD UTILITIES		
t	TELEPHONE LINE		

ABBREVIATIONS

ADA	AMERICAN DISABILITIES ACT	G	GAS PIPE LINE	RCP	REINFORCED CONC. PIPE
APPROX	APPROXIMATE	GRT	GRATE (ELEVATION)	SCD	SOIL CONSERVATION DISTRICT
BC	BOTTOM OF CURB REVEAL	GV	GAS VALVE	ST	STORM SEWER PIPE
BW	BOTTOM WALL (GRADE)	HOPE	HIGH POINT	SSAN	SANITARY SEWER PIPE
COMM	DATA/COMMUNICATION CABLE	HP	FIRE HYDRANT	TEL	TELEPHONE
CLF	CHAIN LINK FENCE	HYD	INVERT (ELEV.)	TC	TOP OF CURB
C.O.	CLEAN OUT	LF	LINEAR FEET	TW	TOP OF WALL
CONC	CONCRETE	LP	LOW POINT	TF	TEST PIT
DEP	DEPRESSED CURB	MH	MANHOLE	TRANSF	TRANSFORMER
DIP	DUCTILE IRON PIPE	NIC	NOT IN CONTRACT	TW	TOP OF WALL
E	ELECTRIC	OH	OVERHEAD	TYP	TYPICAL
ELEV	ELEVATION (FT.)	PC	POINT OF CURVE	UG	UNDERGROUND
EX	EXISTING	PT	POINT OF TANGENT	UP	UTILITY POLE
FDC	FIRE DEPT. CONN.	PROP	PROPOSED	V.I.F.	VERIFY IN FIELD
FFE	FINISHED FLOOR ELEVATION	PT	POINT OF TANGENT	W	WATER
FO	FIBER OPTIC CABLE	PVC	POLYVINYL CHLORIDE PIPE	WV	WATER VALVE



DRURY LANE
 (40' WIDE R.O.W.)

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:

Block 8, Lot 552 Saroufeem, Nader & Laura Boutros 23 Belmar St Demarest, NJ 07627	Block 10, Lot 637 Collins, Daniel & Elissa Jacobs 14 Drury Lane Demarest, NJ 07627	Block 10, Lot 659 Riotta, Noreen 32 Drury Lane Demarest, NJ 07627	Block 10, Lot 703 Bailey, Brian E. & Youngmi K. 33 Brookside Ave Demarest, NJ 07627	Block 10, Lot 773 Corletta, Philip T. & Lorraine 44 Brookside Ave Demarest, NJ 07627
Block 8, Lot 558 Kim, Dong Kyu & Son, Eun Jung 27 Belmar St Demarest, NJ 07627	Block 10, Lot 642 Stein, Jeffrey & Sallie 18 Drury Lane Demarest, NJ 07627	Block 10, Lot 686 Li, Tai-De & Chien, Li-Ting Sandy 47 Brookside Ave Demarest, NJ 07627	Block 10, Lot 708 Karagosian, Fred J. & Jean M. 29 Brookside Ave Demarest, NJ 07627	Block 10, Lot 759.02 Sin, Michelle J. 32 Brookside Ave Demarest, NJ 07627
Block 9, Lot 583 Choi, Han Chul 31 Drury Lane Demarest, NJ 07627	Block 10, Lot 648 PNC Bank National Association 3232 Newark Drive Miamisburg, OH 45342	Block 10, Lot 690 Korner, Richard J. 43 Brookside Ave Demarest, NJ 07627	Block 10, Lot 759.02 Sin, Michelle J. 32 Brookside Ave Demarest, NJ 07627	Block 10, Lot 765 Magid, Eitan & Batten, Christine 68 Serpentine Rd. Demarest, NJ 07627
Block 9, Lot 588 Jacoby, Michael & Starc, Melinda 27 Drury Lane Demarest, NJ 07627	Block 10, Lot 650 Chetrit, Gamliel J (ETAL) 24 Drury Lane Demarest, NJ 07627	Block 10, Lot 694 Mizuno, Jiro & Rosenda 41 Brookside Ave Demarest, NJ 07627	Block 10, Lot 771 Wallin, Carl R. & Alison L. Hanabergh 41 Stelfox St. Demarest, NJ 07627	
Block 9, Lot 593 Milman, Mark & Meirav 23 Drury Lane Demarest, NJ 07627	Block 10, Lot 654 Kim, Julia Eunjoon 28 Drury Lane Demarest, NJ 07627	Block 10, Lot 700 Salerno, Kathleen 37 Brookside Ave Demarest, NJ 07627		

ZONING BOARD OF ADJUSTMENT APPROVAL

APPROVED BY THE ZONING BOARD OF ADJUSTMENT, BOROUGH OF DEMAREST, COUNTY OF BERGEN, STATE OF NEW JERSEY ON _____ BY RESOLUTION # _____

CHAIRPERSON _____

SECRETARY _____

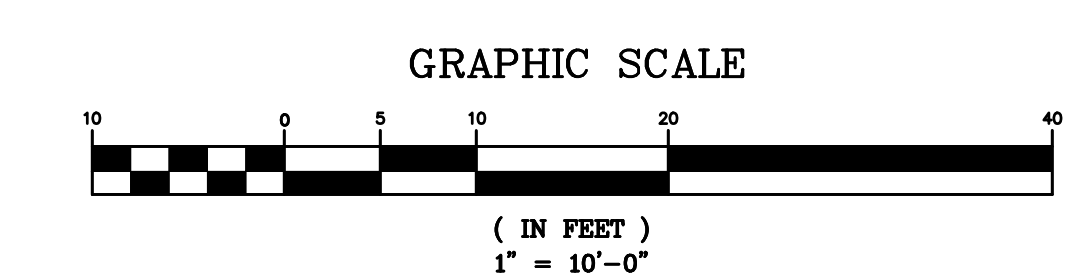
BOROUGH ENGINEER _____ DATE _____

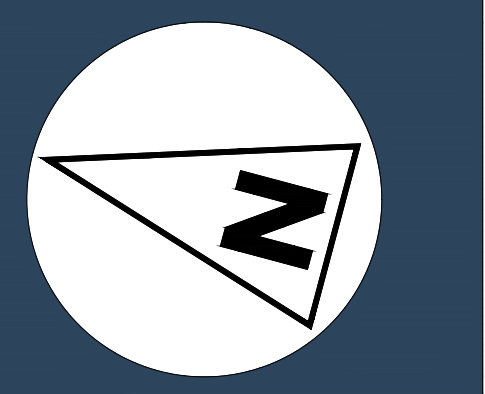
DRAWING INDEX

DRAWING No.:	DRAWING TITLE:
C-01	EXISTING CONDITIONS & DEMOLITION PLAN
C-02	SITE PLAN
C-03	GRADING, DRAINAGE & UTILITY PLAN
C-04	DETAILS

PUBLIC UTILITIES & AGENCIES

Verizon New Jersey 540 Broad Street Newark, NJ 07101 ATTN: Corporate Secretary	Orange & Rockland Utilities, Inc. Rockland Electric Company Pike County Light & Power 75 West Route 59 Spring Valley, NY 10977
Rockland Electric Company One Blue Hill Plaza Pearl River, NY 10965	Public Service Electric & Gas P.O. Box 570 Newark, NJ 07101 Suez North America 461 From Road #400 Paramus, NJ 07662
ATTN: Corporate TGB Properties CableVision of New Jersey 40 Potash Road Oakland, NJ 07436	Bergen Count Utilities Authority Foot of Merhof Road Box No. 9 Little Ferry, NJ 07643
Bergen Count Utilities Authority Foot of Merhof Road Box No. 9 Little Ferry, NJ 07643	Bergen County Planning Board County of Bergen One Bergen County Plaza Hackensack, NJ 07601





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NO.	DATE	REVISION
1	8/20/24	INITIAL SUBMISSION TO ZONING BOARD OF ADJUSTMENT

PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
22 DRURY LANE
BOROUGH OF DEMAREST
BERGEN COUNTY, NEW JERSEY
BLOCK: 10, LOT: 648
TAX MAP: 13

DRAWING TITLE:
SITE PLAN

SCALE:	REFER TO DRAWING
ORG. DATE:	6/4/2024
DESIGNED:	SMS
APPROVED:	JM/MED
L2A PROJ. No.:	2401.098
DRAWING No.:	C-02

ZONING SUMMARY

ZONE: R-D (RESIDENTIAL DISTRICT)	PERMITTED	EXISTING	PROPOSED	PROPOSED VARIANCE
MINIMUM LOT FRONTAGE (FT.)	100 FT.	60.00 FT.	60.00 FT.	EN
MINIMUM LOT DEPTH (FT.)	100 FT.	109.00 FT.	109.00 FT.	NO
MINIMUM LOT AREA (S.F.)	10,000 SF	6,730.00 SF	6,730.00 SF	EN
MINIMUM FRONT YARD SETBACK (FT.) ^(4,5)	25 FT.	25.40 FT.	23.71 FT.	YES
MINIMUM SIDE YARD SETBACK (FT.) ⁽⁷⁾	10 FT.	10.17 FT.	10.17 FT.	NO
MINIMUM REAR YARD SETBACK (FT.)	30 FT.	44.33 FT.	38.83 FT.	NO
MAXIMUM NUMBER OF FAMILIES PER BUILDING	1 FAMILY	1 FAMILY	1 FAMILY	NO
MAXIMUM BUILDING COVERAGE (%)	20%	19.70%	23.42%	YES
MAXIMUM PERMITTED HEIGHT (FT.) ⁽⁹⁾	30 FT.	18.32 FT.	30.00 FT.	NO
MAXIMUM LIVABLE FLOOR AREA (%)	30%	17.18%	44.07%	YES
MAXIMUM IMPROVED LOT COVERAGE (%) ⁽²⁾	30%	35.70%	36.00%	YES
RESIDENTIAL & PARKING COVERAGE (%) ⁽²⁾	25%	29.00%	31.73%	YES

- EN = EXISTING NON-CONFORMITY
- SECTION 175-27 - THE PART OF THE SITE THAT IS COVERED BY BUILDINGS OR ACCESSORY BUILDINGS; IMPERVIOUS OR PERVIOUS TENNIS COURTS, BASKETBALL COURTS, DECKS, SWIMMING POOL DECKS, PATIOS, FIREPITS, HOT TUBS, OR OTHER RECREATIONAL STRUCTURES OR IMPROVEMENTS; IMPERVIOUS OR PERVIOUS PARKING AREAS, DRIVEWAYS, WALLS, WALKWAYS, PAVERS OR SIMILAR IMPROVEMENTS; AND ANY OTHER STRUCTURES OR IMPERVIOUS SURFACES. TOTAL IMPROVED LOT COVERAGE SHALL NOT EXCEED 30% OF THE LOT AREA. THE PERCENTAGE OF THE LOT TO BE USED FOR THE PRINCIPAL RESIDENTIAL USE AND ALL VEHICLE ACCESS AND PARKING AREAS SHALL BE NOT GREATER THAN 25%. **(COMPLIES)**
- SECTION 175-19(A)(1a)) ENCROACHMENTS INTO ALL YARDS: ORDINARY PROJECTIONS OF WINDOWSILLS, BELT COURSES, CORNICES, EAVES AND OTHER ARCHITECTURAL FEATURES SHALL BE PERMITTED TO ENCROACH NOT MORE THAN THREE FEET, AND UNROOFED STEPS AS REQUIRED. **(COMPLIES)**
- SECTION 175-19(A)(1b)) ENCROACHMENTS INTO ALL YARDS: AN OVERHANG AS A STRUCTURAL FEATURE SHALL NOT BE PERMITTED TO ENCROACH. **(VARIANCE)**
- SECTION 175-19(A)(1c)) ENCROACHMENTS INTO ALL YARDS: DECKS, PLATFORMS AND PORCHES, WHETHER ROOFED OR UNROOFED, ENCLOSED OR UNENCLOSED, AS STRUCTURAL FEATURES, SHALL NOT BE PERMITTED TO ENCROACH. **(VARIANCE)**
- SECTION 175-19(A)(3c)) ENCROACHMENTS INTO SIDE YARDS: IF UNROOFED STEPS INCLUDE A PLATFORM AS THE TOP STEP, SUCH PLATFORM SHALL NOT EXCEED A DIMENSION OF FOUR FEET BY FOUR FEET WHEN SUCH UNROOFED STEPS ENCROACH IN A SIDE YARD. **(COMPLIES)**
- SECTION 175-19(A)(3d)) ENCROACHMENTS INTO SIDE YARDS: NOTWITHSTANDING THE FOREGOING, NO ENCROACHMENT SHALL BE PERMITTED WITHIN 10 FEET OF ANY SIDE LOT LINE. **(VARIANCE)**
- SECTION 358-14 - EXCEPT AS OTHERWISE REQUIRED HEREIN, NO PERSON SHALL DISTURB ANY SOIL UPON OR TRANSFER SOIL FROM OR TO ANY PROPERTY WITHIN THE CITY OF ENGLEWOOD WITHOUT FIRST OBTAINING A PERMIT THEREFOR FROM THE CITY ENGINEER. ANY CHANGE IN GROUND ELEVATION THAT RESULTS IN A TWO-FOOT ELEVATION GAIN OR MORE WITHIN 30 FEET OF ANY SIDE OR REAR PROPERTY LINE REQUIRES A VARIANCE FROM THE ENGLEWOOD BOARD OF ADJUSTMENT. **(COMPLIES)**
- MEASURED FROM THE AVERAGE NATURAL GRADE AROUND THE PERIMETER OF THE PROPOSED STRUCTURE. NO MORE THAN 50% OF THE ROOF AREA SHALL EXCEED THE SPECIFIED AVERAGE HEIGHT. FLAT ROOFS ABOVE 30 FEET IN HEIGHT ARE EXPRESSLY PROHIBITED IN ALL ZONES.
- PROPOSED PRINCIPAL BUILDING:
AVG. GRADE ELEV. = 60.67'
FIRST FLOOR ELEV. = 63.49'
Δ FIRST FLOOR TO ROOF PEAK = 27.18' (PER ARCHITECT)
BUILDING HEIGHT = 90.67' - 60.67' = 30'

COVERAGE SUMMARY

COVERAGE TYPE	EXISTING	PROPOSED
BUILDING	1,326.22 SF (19.70%)	1,576.00 SF (BUILDING) / 6,730 SF (LOT) = 23.42%
LIVABLE FLOOR AREA	2,404.19 SF (35.74%)	2,965.91 SF (AGGREGATE HEATED FLOOR AREA) / 6,730 SF (LOT) = 44.07% (PER ARCHITECT)
IMPROVED LOT	2,405.6 SF (35.79%)	[1,576.00 SF (BUILDING) + 465.30 SF (DRIVEWAY) + 224.08 (WALKWAYS & PORCHES) + 158.00 SF DECK] / 6,730 SF (LOT) = 36.00%
RESIDENTIAL & PARKING	1,952.11 SF (29.00%)	[1,576.00 SF (BUILDING) + 465.30 SF (DRIVEWAY) + 93.95 SF (FRONT WALKWAY & ENTRY)] / 6,730 SF (LOT) = 31.73%

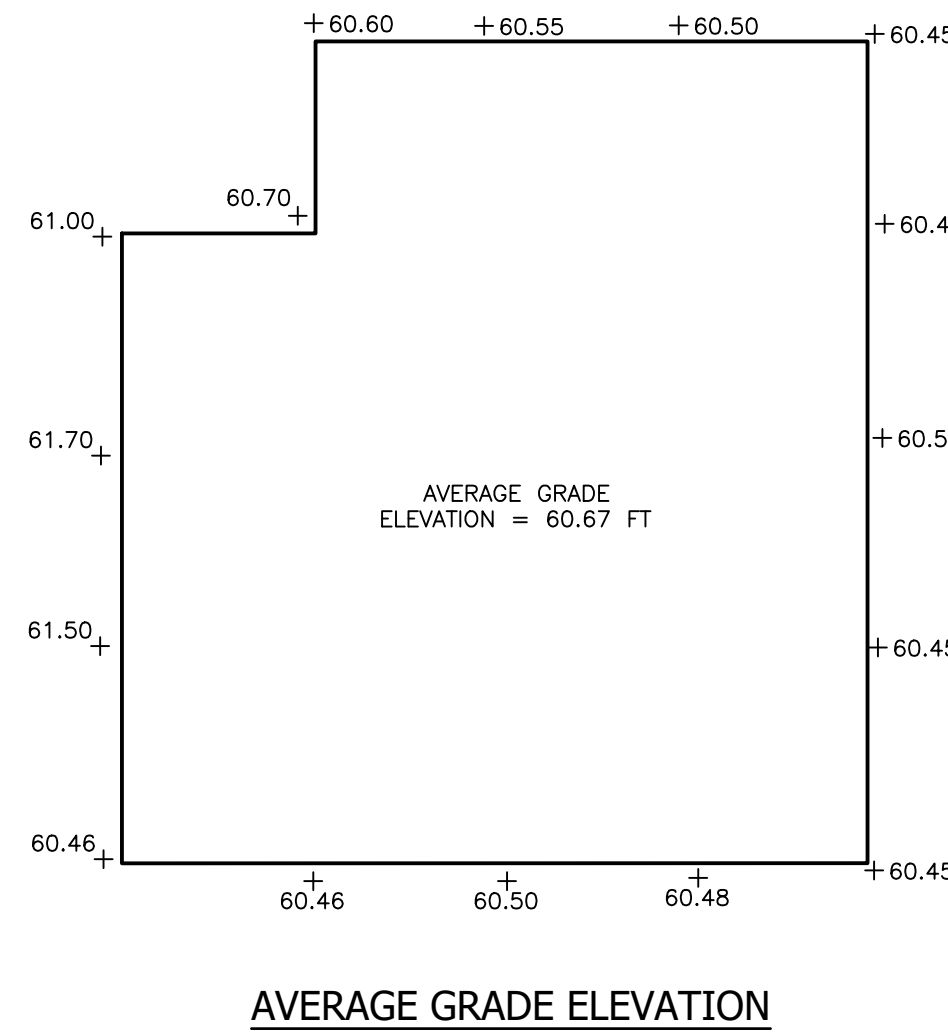
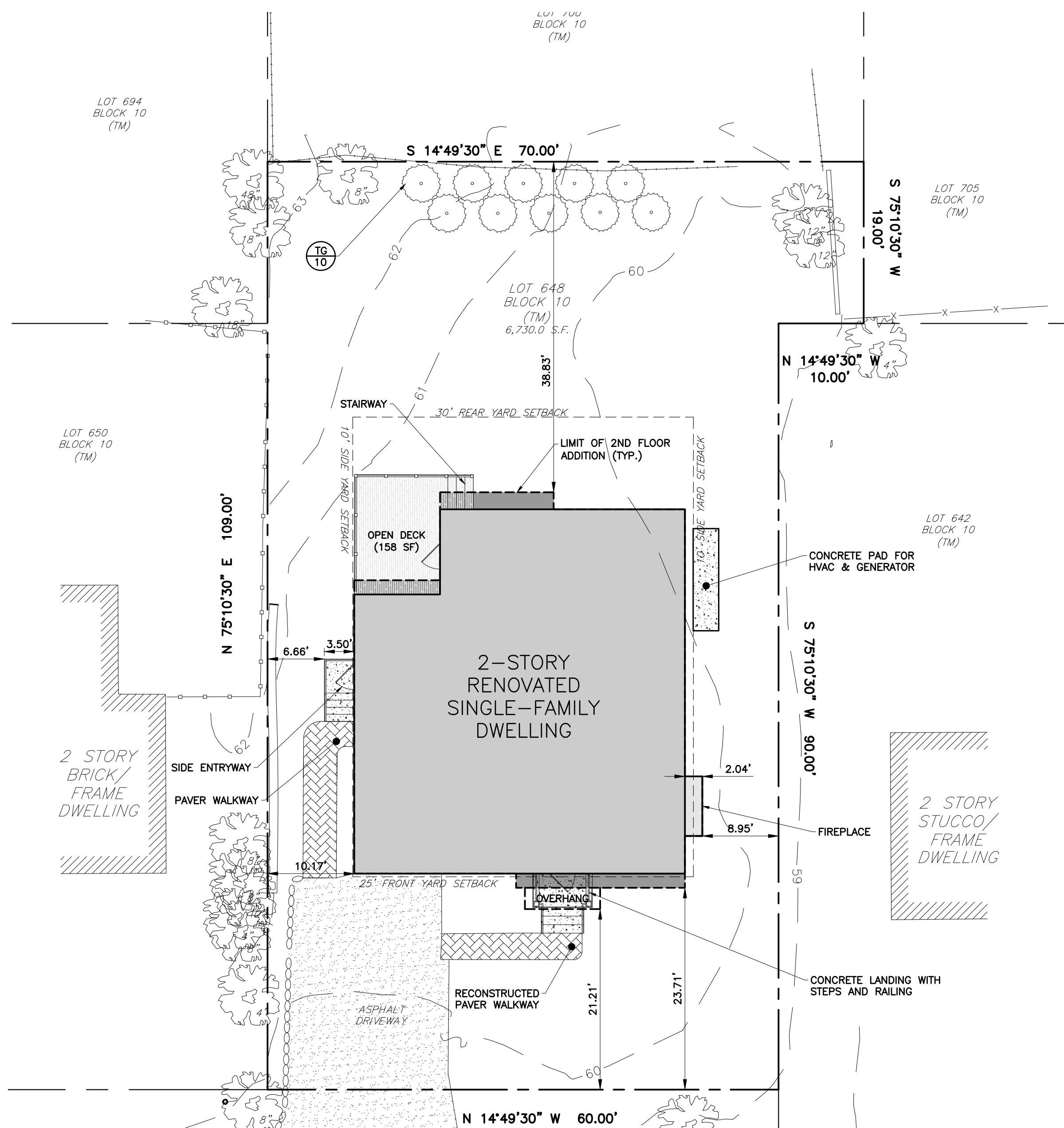
- Δ RESIDENTIAL & PARKING: PROPOSED COVERAGE - EXISTING COVERAGE = 2,135.25 SF - 1,952.11 SF = +183.10 SF
- Δ IMPROVED LOT COVERAGE: PROPOSED COVERAGE - EXISTING COVERAGE = 2,423.38 SF - 2,404.19 SF = +19.19 SF

PLANTING SCHEDULE

TREES	SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	MATURE HT.	QTY.
		TG	THUJA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	2.5" CALIPER	7' - 8' TALL	10

GENERAL NOTES:

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE PROPERTY SURVEY IS CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOLID WASTE TO BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS AND FEATURES WHICH ARE TO REMAIN WHETHER SHOWN ON THE DRAWINGS OR NOT.
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS EQUIPMENT, WATER, SANITARY FACILITIES, LIGHT, POWER, HEAT, TELEPHONE, TRANSPORTATION AND SUPERINTENDENCE FOR TEMPORARY CONSTRUCTION, SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE, COMPLETE AND DELIVER THE WORK WITHIN THE SPECIFIED TIME.
- THE CONTRACTOR SHALL MAINTAIN AND PROTECT TRAFFIC AS REQUIRED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER SATISFACTORY TO THE OWNER'S FIELD REPRESENTATIVE AND ANY OTHER AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL CLEAN UP AND REMOVE ALL REFUSE RUBBISH, SCRAP MATERIALS, UNSUITABLE MATERIALS AND DEBRIS CAUSED BY HIS/HER OPERATIONS SO THAT, AT ALL TIMES, THE SITE OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
- THE CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, REPAIR OR REPLACE ALL GROUND SURFACES, PAVEMENTS, SIDEWALKS, CURBS, ETC., WHICH ARE TO REMAIN AND WHICH MAY BECOME DISTURBED OR DAMAGED DUE TO HIS/HER OPERATION.
- AS MANDATED BY THE STATE OF NEW JERSEY, AN APPLICANT MUST RECYCLE THE FOLLOWING CONSTRUCTION MATERIALS AND DEMOLITION DEBRIS WHICH MAY INCLUDE, BUT IT IS NOT LIMITED TO, CONCRETE, ASPHALT, WOOD, METALS, BRICKS, BLOCK MASONRY, WALLBOARD, DIRT, ROCKS, LANDSCAPE WASTE, AND OTHER INERT WASTE. IT IS THE RESPONSIBILITY OF THE APPLICANT TO PROPERLY RECYCLE THESE ITEMS. UPON DISPOSAL OF THESE ITEMS THE APPLICANT MUST OBTAIN A WEIGHT TONNAGE SLIP THAT SHOULD BE FORWARDED TO THE DEPARTMENT OF PUBLIC WORKS FOR RECYCLING TONNAGE CREDIT.

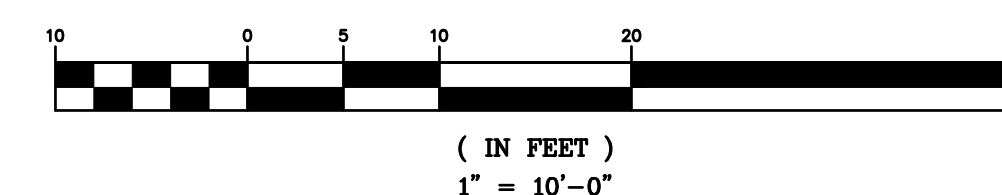


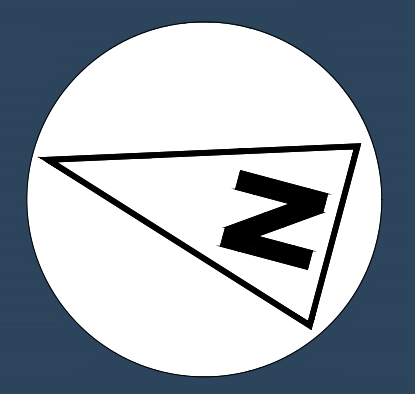
LEGEND - SITE, GRADING, DRAINAGE, UTILITIES, SESC

EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED	ITEM
text	UPPERCASE TEXT	TEXT & NOTES	---	---	PAVEMENT EDGE
		MANHOLE- NEW/RECONSTRUCT	---	---	CURB
		INLET	---	---	DEPRESSED CURB
		CLEANOUT			BITUMINOUS PAVEMENT
		ROOF LEADER			PORTLAND CEMENT CONCRETE
		VALVE-TYPE			SPOT ELEVATION
		FIRE HYDRANT/FDC			CONTOUR LINE
		UTIL. POLE/W-LIGHT/W-TRANSF.			SILT FENCE
		STREET/TRAFFIC SIGNS:			SOIL DELINEATION LINE
		LIGHTS			LIMIT OF DISTURBANCE
		FENCE			INLET SEDIMENT PROTECTION
		STORM WATER			TREE/WOOD LINE
		SANITARY SEWER			BUSH/SHRUBS
		WATER LINE			EVERGREEN/DECIDUOUS TREES
		GAS LINE			VARIABLES
		ELECTRIC LINE			
		OVERHEAD UTILITIES			
		TELEPHONE LINE			

ABBREVIATIONS					
ADA	AMERICAN DISABILITIES ACT	G	GAS PIPE LINE	RCP	REINFORCED CONC. PIPE
APPROX	APPROXIMATE	GRT	GRATE (ELEVATION)	SCD	SOIL CONSERVATION DISTRICT
BC	BOTTOM OF CURB REVEAL	GV	GAS VALVE	ST	STORM SEWER PIPE
BW	BOTTOM WALL (GRADE)	HDPE	POLYETHYLENE PIPE (HDPE)	SAN	SANITARY SEWER PIPE
COMM	DATA/COMMUNICATION CABLE	HP	HIGH POINT	TEL	TELEPHONE
CLF	CHAIN LINK FENCE	HYD	FIRE HYDRANT	TC	TOP OF CURB
C.O.	CLEAN OUT	INV	INVERT (ELEV.)	TW	TOP OF WALL
CONC	CONCRETE	LF	LINEAR FEET	TP	TEST PIT
DEP	DEPRESSED CURB	LP	LOW POINT	TRNSF	TRANSFORMER
DIP	DUCTILE IRON PIPE	MH	MANHOLE	TW	TOP OF WALL
E	ELECTRIC	NIC	NOT IN CONTRACT	TYP	TYPICAL
ELEV	ELEVATION (FT.)	OH	OVERHEAD	UG	UNDERGROUND
EX	EXISTING	PC	POINT OF CURVE	UP	UTILITY POLE
FDC	FIRE DEPT. CONN.	PROP	PROPOSED	V.I.F.	VERIFY IN FIELD
FFE	FINISHED FLOOR ELEVATION	PT	POINT OF TANGENT	W	WATER
FO	FIBER OPTIC CABLE	PVC	POLYVINYL CHLORIDE PIPE	WV	WATER VALVE

GRAPHIC SCALE





Michael E. Dipple
8/20/2024

Michael E. Dipple, P.E. Date
New Jersey Professional Engineer #24GE04081200

APPLICANT/OWNER:
CARLY WILLIAMS
22 DRURY LANE
DEMAREST, NJ 07627
201.220.8572

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FDS ARCHITECTS
82 NORTH SUMMIT STREET
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SURVEYOR:
LAKELAND SURVEYING, INC.
4 W MAIN STREET
ROCKAWAY, NJ 07866
973.625.5670 (Office)

NO.	REVISION	DATE	DESCRIPTION
1		8/20/24	INITIAL SUBMISSION TO ZONING BOARD OF ADJUSTMENT

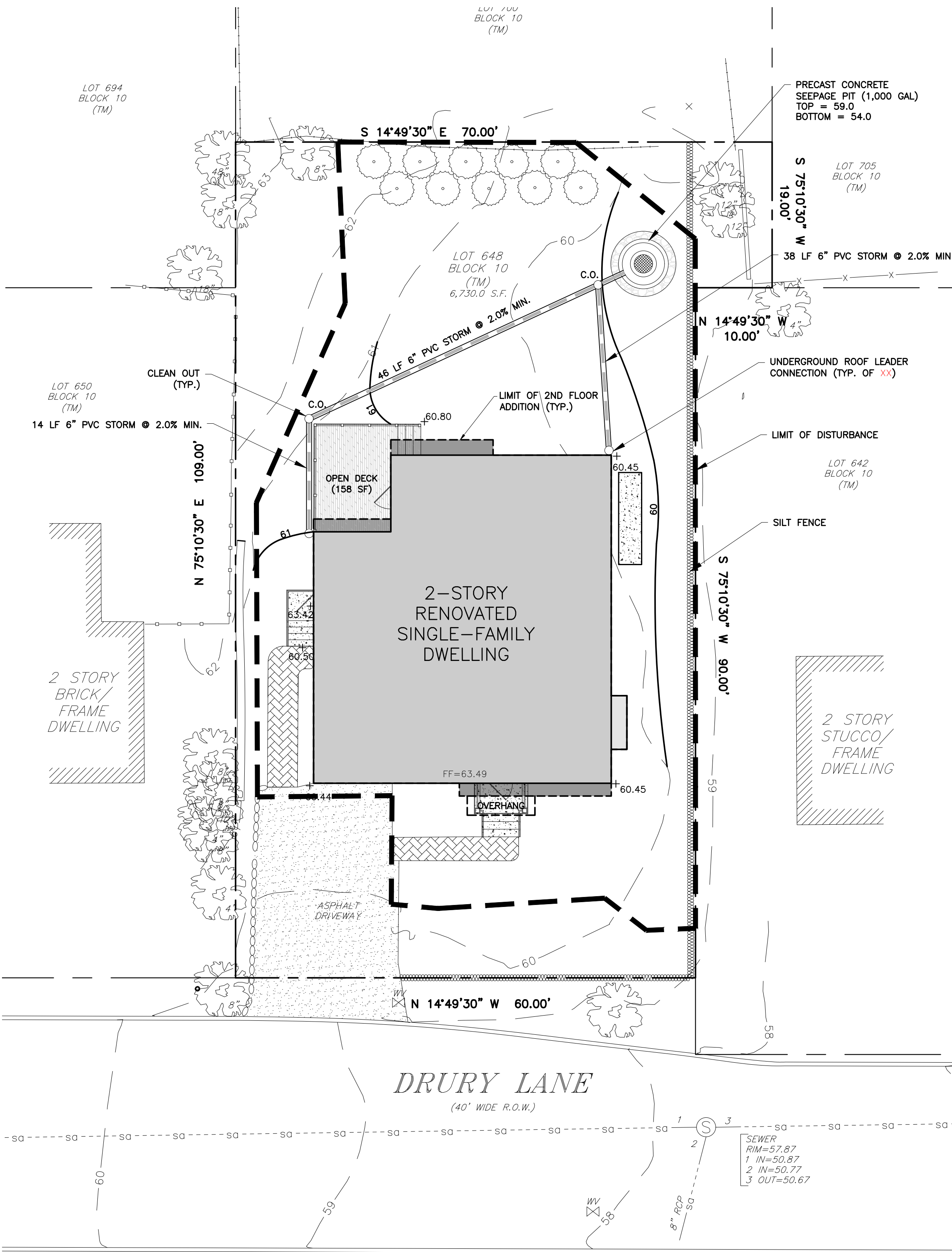
PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
22 DRURY LANE
BOROUGH OF DEMAREST
BERGEN COUNTY, NEW JERSEY
BLOCK: 10, LOT: 648
TAX MAP: 13

DRAWING TITLE:

GRADING, DRAINAGE, & UTILITY PLAN

SCALE: REFER TO DRAWING
ORIG. DATE: 6/4/2024
DESIGNED: SMS
APPROVED: JM/MED
L2A PROJ. No.: 2401.098
DRAWING No.:

C-03



GRADING, EXCAVATION, AND BACKFILLING NOTES:

1. TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED ON THE VERTICAL DATUM NAVD 1988.
2. THE CONTRACTOR SHALL PREVENT WATER FROM ENTERING EXCAVATED AREA AND MAINTAIN A DRY CONDITION AT ALL TIMES.
3. DO NOT PLACE FILL OR BACKFILL ON FROZEN SUBGRADE.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE SOIL MATERIAL. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
5. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. CURB FACE REVEAL WITHIN EXISTING PUBLIC ROADWAYS SHOULD BE MATCHED TO CREATE A SMOOTH TRANSITION. FIELD ADJUST TO CREATE A MINIMUM OF 0.50% GUTTER GRADE ALONG CURB FACE.
6. SLOPES ON SITE SHALL NOT EXCEED 3:1.

UTILITY NOTES:

1. ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 PVC CONDUIT PER NEMA TC-2. SIZE PER ELECTRICAL INSTALLER (TYP).
2. LOCATION OF ELECTRIC AND COMMUNICATION SERVICES IS APPROXIMATE AND MUST BE CONFIRMED BY SERVICE PROVIDER. LOCATIONS OF TRANSFORMERS, PULL BOXES, ETC., AS WELL AS CONSTRUCTION SPECIFICATIONS TO BE DETERMINED AT PRE-CONSTRUCTION MEETING WITH UTILITY PROVIDER.
3. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL THE NJ ONE CALL CENTER A MINIMUM OF 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
4. LOCATION OF EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS INDEPENDENTLY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES EXIST.
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF UTILITY CONNECTIONS TO BUILDING(S). SHOULD ANY DISCREPANCIES EXIST, THE ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES IN UTILITY SERVICES EXIST.
6. SHOULD INTERFERENCE BETWEEN UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
7. WHERE SHOWN ON THE CONTRACT DRAWINGS, ADJUST THE CASTINGS OF EXISTING CATCH BASINS, MANHOLES AND VALVE BOXES TO FINISHED GRADE OF NEW PAVEMENT.
8. CIRCULAR REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE STATED ON THE CONTRACT DRAWINGS. (ASTM C-76, ASTM C-443, ASHTO M-170).
9. WHERE CONNECTIONS TO EXISTING DRAINAGE OR SANITARY STRUCTURES ARE REQUIRED, CUT NEATLY WITHOUT PERCUSSION INTO THE EXISTING STRUCTURE. THE MAXIMUM SIZE OF THE OPENING SHALL NOT EXCEED THE PIPE'S OUTER DIAMETER PLUS THREE (3") INCHES. CONNECT THE NEW PIPE AND SEAL AROUND IT WITH SIKAFLEX-2C OR APPROVED EQUAL.
10. PORTLAND CEMENT CONCRETE SHALL BE CLASS B, 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI, AIR-ENTRAINED UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT TOWNSHIP REQUIREMENTS AND PRACTICES.
11. THE DRIVEWAY AND CURBING MARK-OUTS MUST BE ESTABLISHED PRIOR TO THE INSTALLATION OF NEW UTILITIES.
12. DUCTILE IRON CEMENT PIPE SHALL BE CLASS 52 FOR DIAMETERS FOUR (4) INCHES AND LARGER.
13. GAS & ELECTRIC MAINS SHALL BE COORDINATED BETWEEN THE CONTRACTOR & UTILITY PROVIDERS PRIOR TO CONSTRUCTION. ANY CONFLICTS SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION IMMEDIATELY.
14. ANY ADJUSTMENTS OR REPAIRS TO EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTORS OPERATION SHALL BE MADE AT THE CONTRACTORS EXPENSE, SUBJECT TO INSPECTION AND APPROVAL BY THE UTILITY AGENCY INVOLVED.
15. ALL EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND APPLICABLE SPECIFICATIONS FOR THIS PROJECT AND IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR LOCAL AGENCY REQUIREMENTS.
16. THE CONTRACTOR SHALL PROTECT VEGETATION IN AREAS THAT ARE TO BE LEFT IN THE NATURAL.

REQUIRED STORMWATER VOLUME
(IMPERVIOUS COVERAGE OVER ALLOWABLE) x (LOT AREA)
(5.38%) x (6,730 SF) = 362 SF

V = (TOTAL CONTRIBUTORY IMPERVIOUS AREA) x (2" RAINFALL RUNOFF)
TOTAL CONTRIBUTORY IMPERVIOUS AREA = 1,576 SF (DWELLING) + 153 SF (DECK AREA) = 2,162 SF
V = (2,162 SF) x (2" RAINFALL RUNOFF) = 2,162 FT³ OR **2,162 GALLONS**

DRYWELL CALCULATIONS
DRYWELL VOLUME = **1,000 GALLONS** (7'Ø, 5' TALL)
STONE VOLUME = (AREA OF STONE) x (HEIGHT OF STONE) x 40%
SIDE STONE VOLUME = (56.55 SF) x (5 FT) x (0.40) = 113.10 FT³ OR 846.05 GALLONS
BOTTOM STONE VOLUME = (95.03 SF) x (2.0 FT) x (0.40) = 76.02 FT³ OR 568.67 GALLONS
DRYWELL + SIDE STONE + BOTTOM STONE = **2,414.72 GALLONS**

THEREFORE: 2,414.72 GALLONS > 2,162 GALLONS OK

SOIL IMPORT/EXPORT

1. TOTAL SOIL MOVEMENT = < **250 CY**
(NOT INCLUDING ANY UTILITY TRENCHING OR SWELL FACTORS)
PER (\$147-1), A SOIL MOVING PERMIT WILL NOT BE REQUIRED AS THE TOTAL QUANTITY OF SOIL MOVEMENT DOES NOT EXCEED 250 CUBIC YARDS. **(W/VER)**

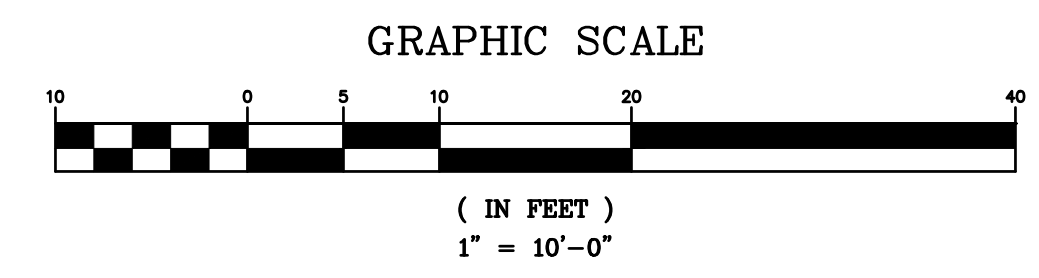
LEGEND - SITE, GRADING, DRAINAGE, UTILITIES, SESC

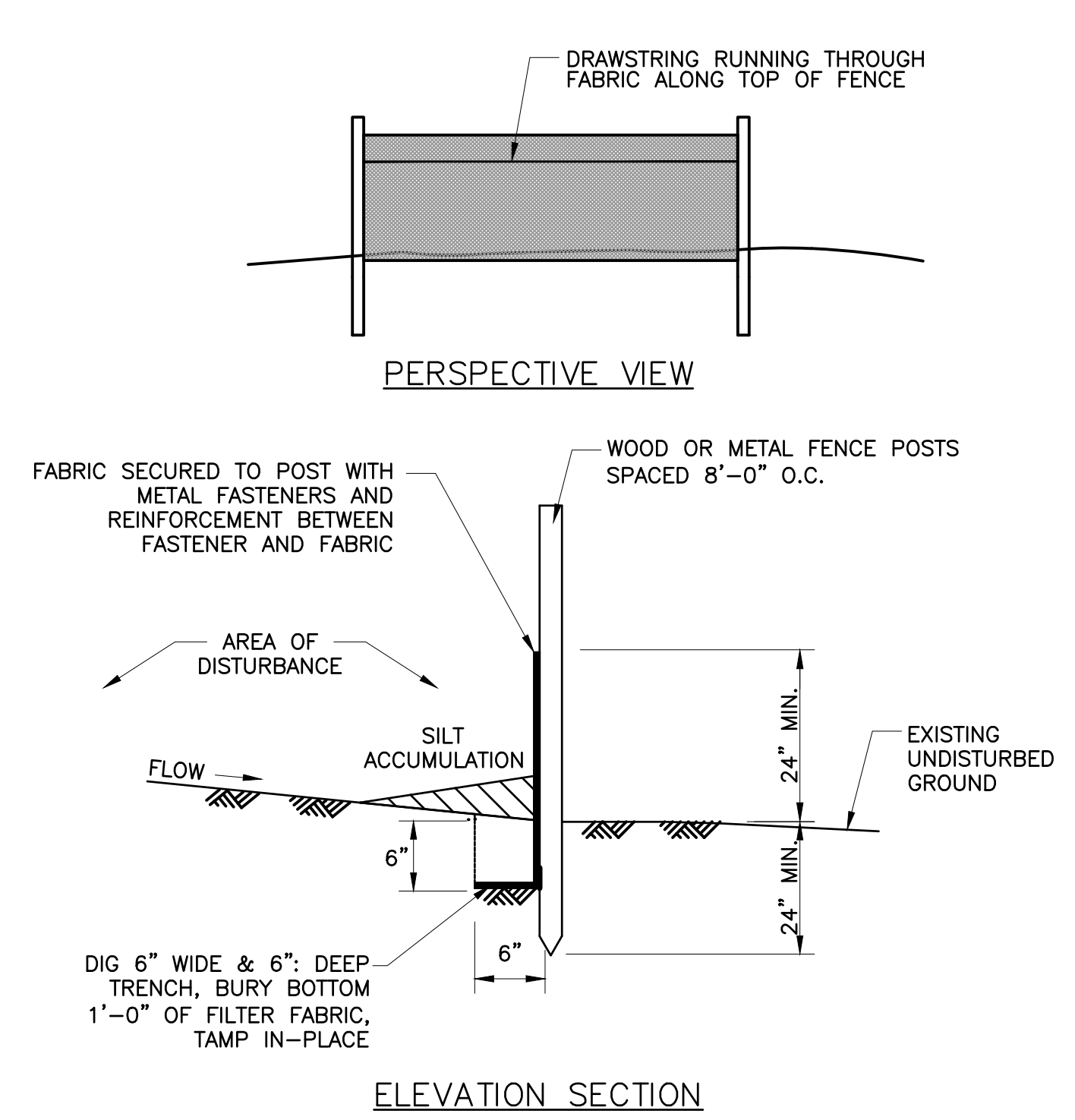
EXISTING	PROPOSED	ITEM	EXISTING	PROPOSED	ITEM
text	UPPERCASE TEXT	TEXT & NOTES	----	----	PAVEMENT EDGE
○	●	MANHOLE-NEW/RECONSTRUCT	=====	=====	CURB
□	■	INLET	-----	-----	DEPRESSED CURB
○ c.o.	○	CLEANOUT	-----	-----	BITUMINOUS PAVEMENT
○/rug	○	ROOF LEADER	-----	-----	PORTLAND CEMENT CONCRETE
gv wv	GV WV	VALVE-TYPE	-----	-----	SPOT ELEVATION
○	○	FIRE HYDRANT/FDC	-----	-----	CONTOUR LINE
○	○	UTIL. POLE/W-LIGHT/W-TRANSF.	-----	-----	SILT FENCE
○	○	STREET/TRAFFIC SIGNS:	-----	-----	SOIL DELINEATION LINE
○	○	LIGHTS	-----	-----	LIMIT OF DISTURBANCE
x-x-x	-----	FENCE	-----	-----	INLET SEDIMENT PROTECTION
st	-----	STORM WATER	-----	-----	TREE/WOOD LINE
ss	S	SANITARY SEWER	-----	-----	BUSH/SHRUBS
w	W	WATER LINE	-----	-----	EVERGREEN/DECIDUOUS TREES
g	G	GAS LINE	-----	-----	
e	E	ELECTRIC LINE	-----	-----	
oh	OH	OVERHEAD UTILITIES	-----	-----	
t	T	TELEPHONE LINE	-----	-----	

ABBREVIATIONS

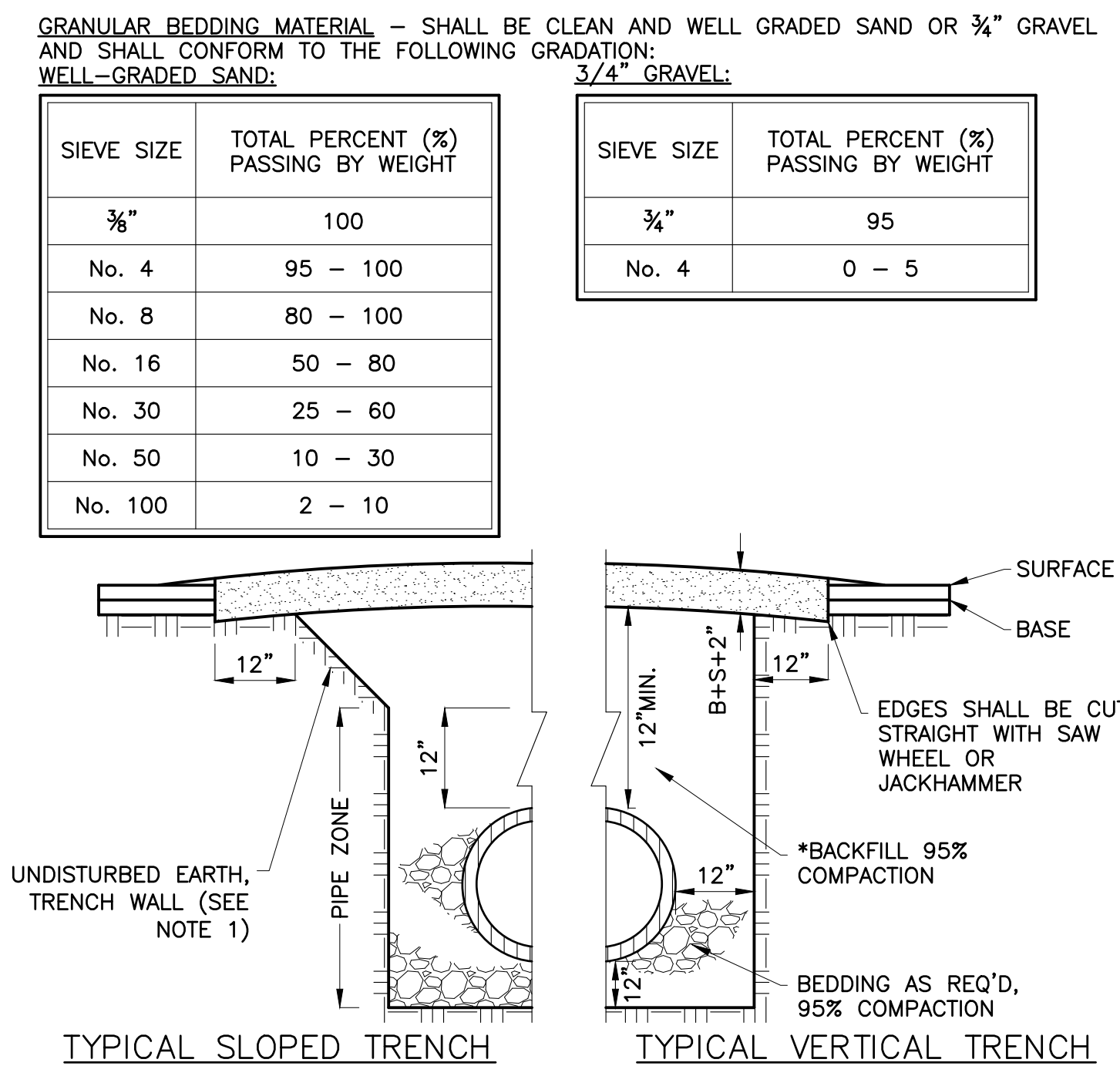
ADA	AMERICAN DISABILITIES ACT	G	GAS PIPE LINE	RCP	REINFORCED CONC. PIPE
APPROX	APPROXIMATE	GRT	GRATE (ELEVATION)	SCD	SOIL CONSERVATION DISTRICT
BC	BOTTOM OF CURB REVEAL	GV	GAS VALVE	ST	STORM SEWER PIPE
BW	BOTTOM WALL (GRADE)	HDPE	POLYETHYLENE PIPE (HDPE)	SAN	SANITARY SEWER PIPE
COMM	DATA/COMMUNICATION CABLE	HP	HIGH POINT	TEL	TELEPHONE
CLF	CHAIN LINK FENCE	HYD	FIRE HYDRANT	TC	TOP OF CURB
C.O.	CLEAN OUT	INV	INVERT (ELEV.)	TW	TOP OF WALL
CONC	CONCRETE	LF	LINEAR FEET	TP	TEST PIT
DEP	DEPRESSED CURB	LP	LOW POINT	TRANSF	TRANSFORMER
DIP	DUCTILE IRON PIPE	MH	MANHOLE	TW	TOP OF WALL
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ELEV	ELEVATION (FT.)	OH	OVERHEAD	UG	UNDERGROUND
EX	EXISTING	PC	POINT OF CURVE	UP	UTILITY POLE
FDC	FIRE DEPT. CONN.	PROP	PROPOSED	V.I.F.	VERIFY IN FIELD
FFE	FINISHED FLOOR ELEVATION	PT	POINT OF TANGENT	W	WATER
FO	FIBER OPTIC CABLE	PVC	POLYVINYL CHLORIDE PIPE	WV	WATER VALVE

LIMIT OF DISTURBANCE = 4,963.5 SF (0.11 Acres)

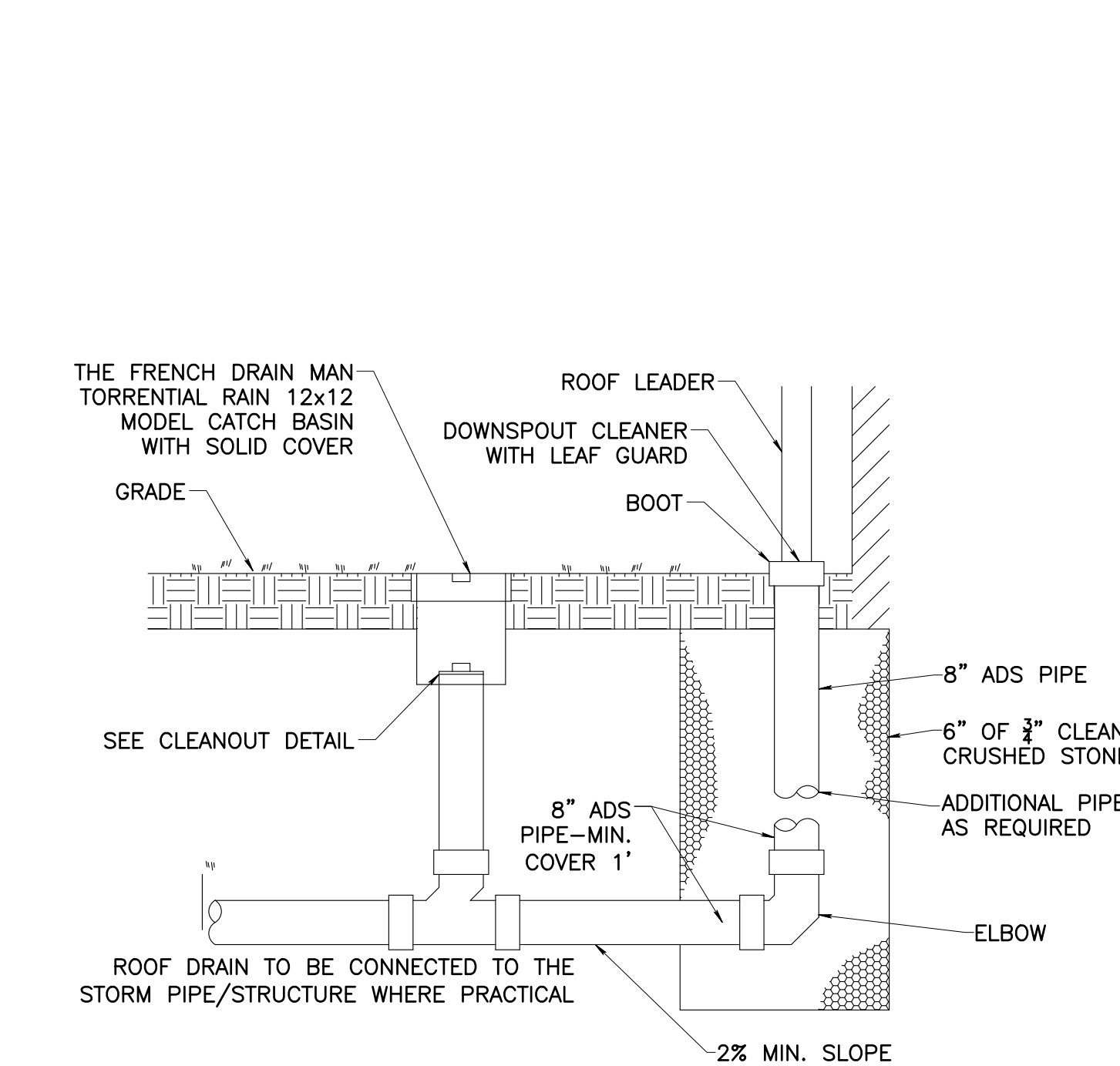




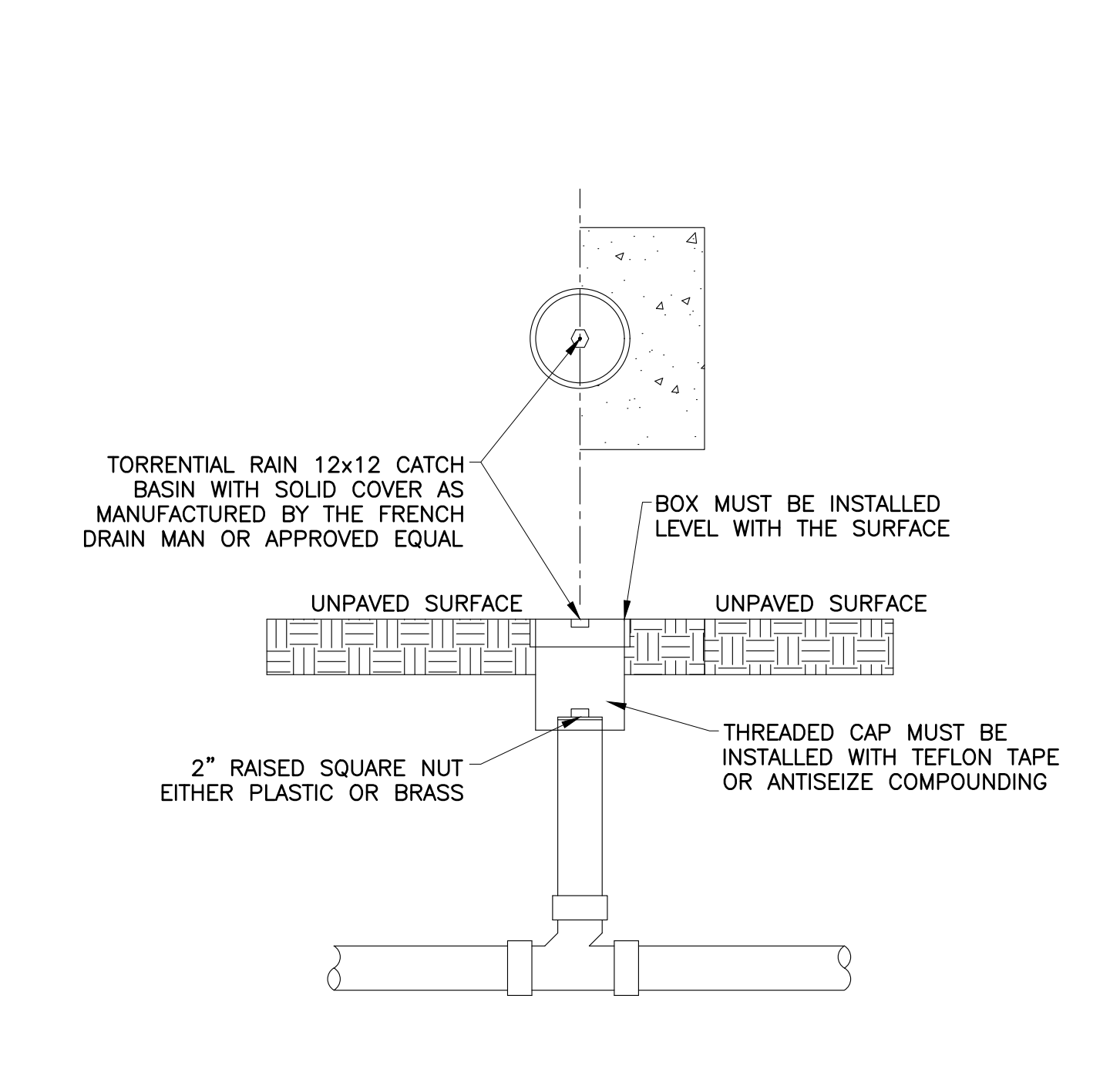
- NOTES:**
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
 2. THE SLOPE OF THE LAND FOR AT LEAST THIRTY (30'-0") FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED FIVE (5%) PERCENT.
 3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS AROUND THE SIDES OF THE FENCE.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE SOIL CONSERVATION DISTRICT.



- NOTES:**
1. TRENCH TO BE SLOPED OR BRACED AND SHEETED AS NECESSARY FOR THE SAFETY OF THE WORKMEN AND THE PROTECTION OF OTHER UTILITIES.
 2. TACK COAT ALL PAVEMENT SURFACES PRIOR TO INSTALLATION OF NEW PAVEMENT.
 3. THE PATCH SHALL BE FULL DEPTH ASPHALT AND EXTEND 12" BEYOND THE EDGE OF TRENCH. DEPTH OF ASPHALT SHALL BE THE DEPTH OF EXISTING BASE PLUS THE DEPTH OF EXISTING SURFACE PLUS 2".
 4. PIPE ZONE OF TRENCH TO BE BACKFILLED IN SIX (6") INCH LIFTS ABOVE PIPE ZONE.
 5. TRENCH TO BE BACKFILLED IN TWELVE (12") INCH LIFTS ABOVE PIPE ZONE.
 6. BACKFILL TO BE COMPACTED TO 95% IN ACCORDANCE WITH AASHTO T180 AND AASHTO T99. COMPACTION TESTS TO BE PERFORMED EVERY 24" OF VERTICAL TRENCH HEIGHT. HORIZONTAL DISTANCES BETWEEN TESTS NOT TO EXCEED 200'-0". A MINIMUM OF TWO (2) TESTS TO BE PERFORMED FOR EACH 24'-0" OF VERTICAL TRENCH HEIGHT.
- COMPACTION AASHTO T180 AASHTO T99
SOIL (ASTM D2487) ALL "G" & "S" SOILS ML, CL, MH, CH



- NOTES:**
1. SEE SITE PLANS FOR ROOF LEADER PIPE LOCATIONS



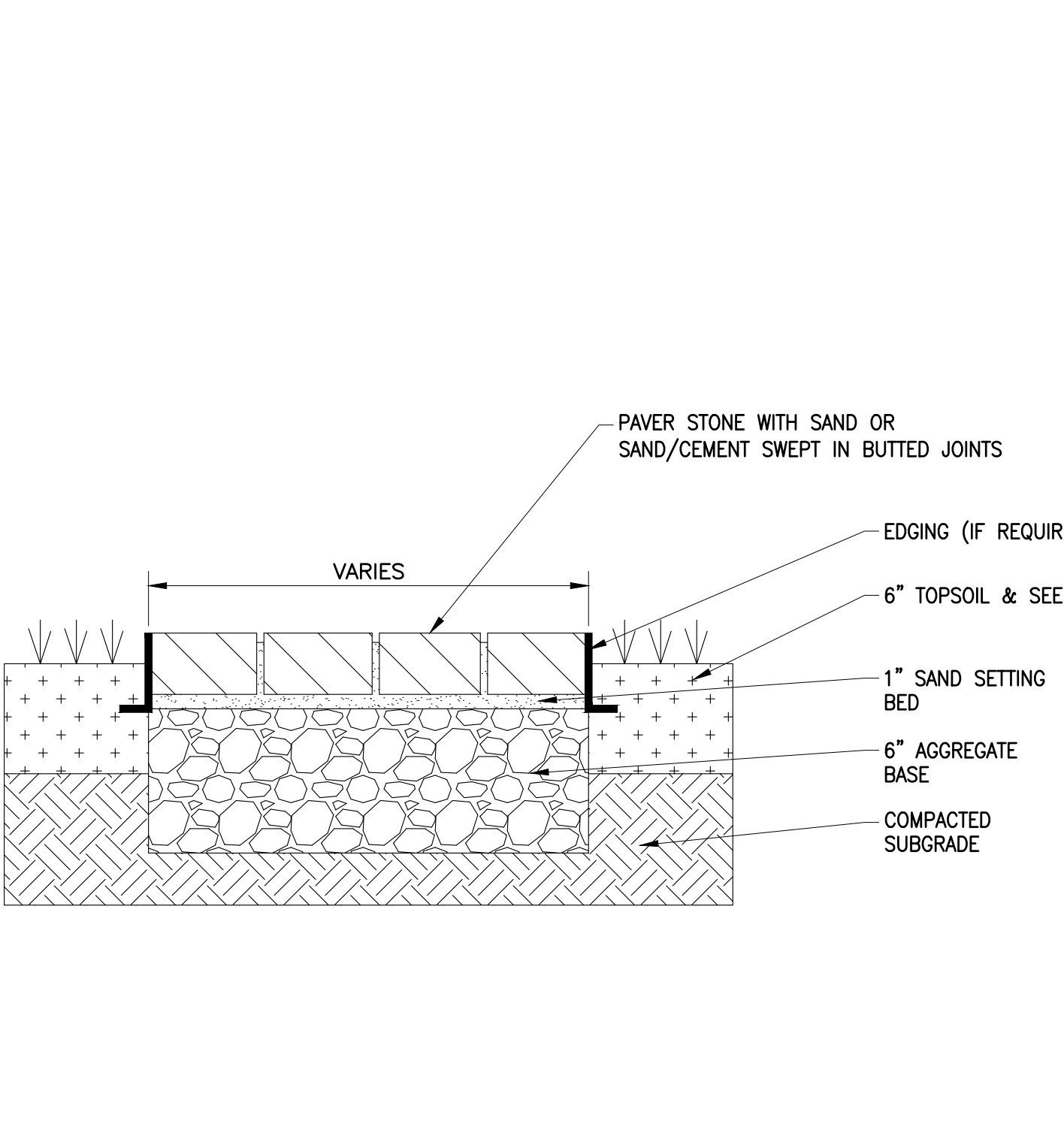
- NOTES:**
1. AT LEAST ONE CLEANOUT MUST BE PROVIDED ON EACH LATERAL.
 2. A CLEANOUT WILL BE PROVIDED FOR EACH LATERAL BETWEEN THE CURB AND THE SIDEWALK.
 3. IN GENERAL, OWNERSHIP AND MAINTENANCE OF LATERALS AND CLEANOUTS WILL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.
 4. THE LOCATION OF ALL CLEANOUTS MUST BE APPROVED BY THE TOWNSHIP PLUMBING DEPARTMENT.
 5. ALL CLEANOUTS LOCATED WITHIN PAVEMENT OR CONCRETE MUST BE PROTECTED WITH A CC-6 BOX.

SILT FENCE

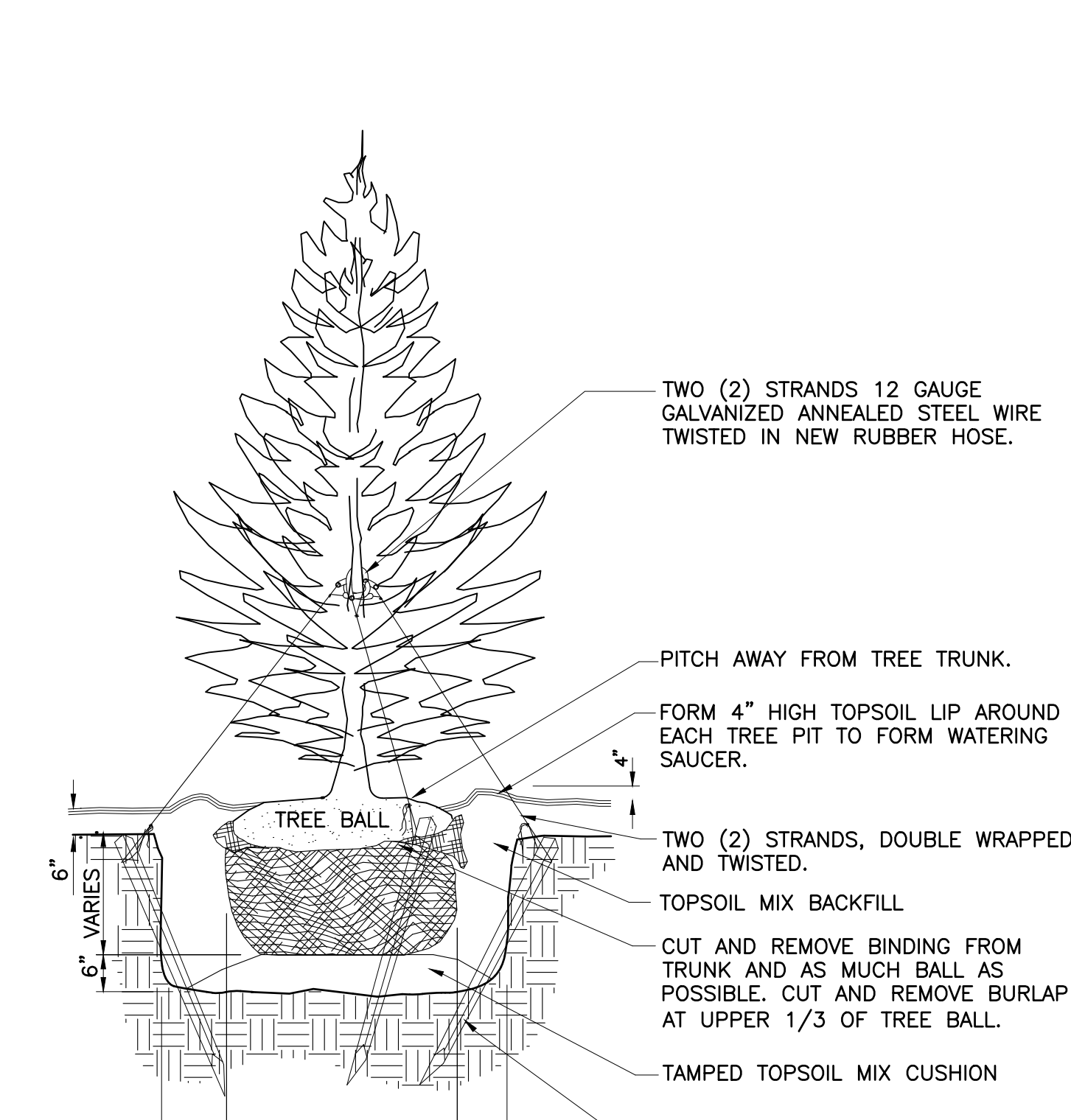
TYPICAL TRENCH

ROOF-LEADER DRAIN

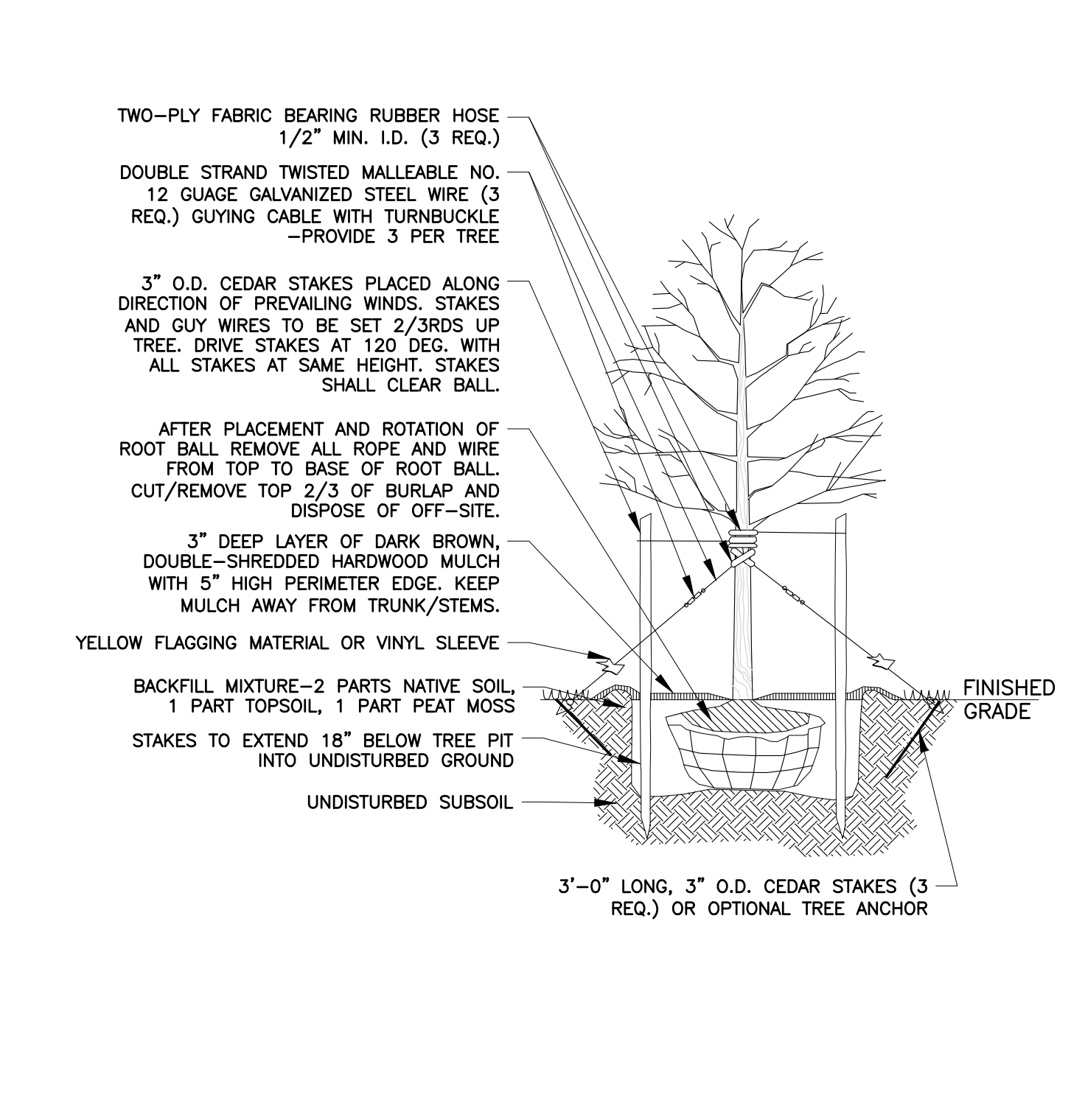
STANDARD PIPE CLEANOUT



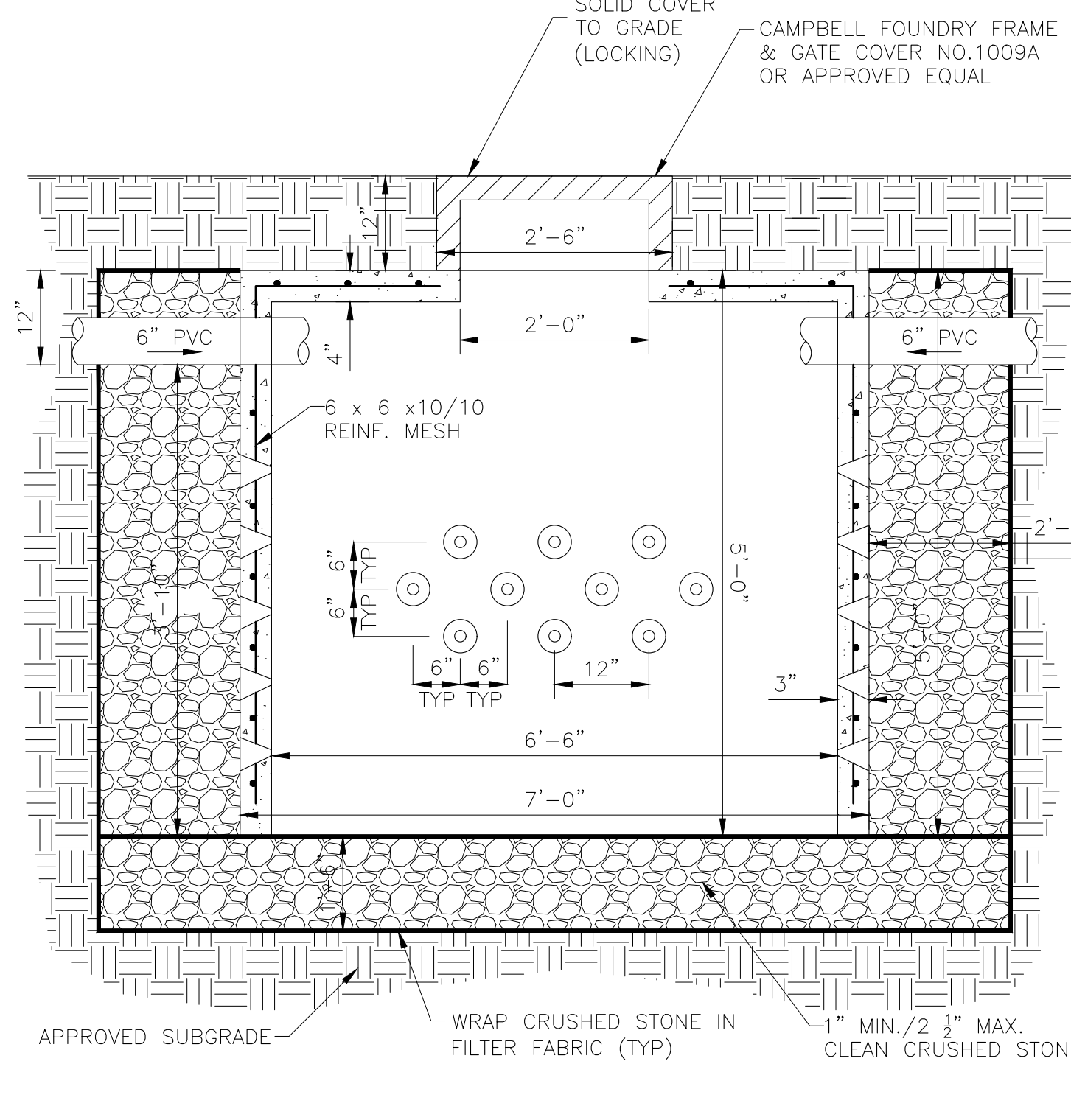
- NOTES:**
1. THIS DETAIL IS RATED FOR MEDIUM-DUTY APPLICATIONS BASED ON PAVING COURSE AND BASE THICKNESS, AND MAY SUPPORT PRIMARILY PEDESTRAIN LOADING ASSOCIATED WITH WALKS AND LIGHT VEHICULAR ACCESS.
 2. AS WITH ALL UNIT PAVERS, PAVEMENT EDGES REQUIRE RESTRAINTS TO PREVENT CREEPING, ESPECIALLY IF SUBJECTED TO EVEN OCCASIONAL VEHICULAR ACCESS.
 3. THE SUBGRADE CONDITIONS HAVE A SIGNIFICANT IMPACT ON THE DESIGN OF FLEXIBLE PAVEMENTS, SUCH AS UNIT PAVERS. LOADS ARE TRANSFERRED MORE DIRECTLY TO THE BASE, REQUIRING WELL-DRAINED SOILS WITH ADEQUATE BEARING CAPACITY.
 4. SET STONES WITH LIGHT VIBRATING COMPACTOR AND FINAL SAND SWEEPING TO COMPLETE INSTALLATION.



- NOTES:**
1. PROVIDE 3" LAYER OF MULCH AS SPECIFIED OVER ENTIRE WATERING SAUCER AT ALL TREE PITS OR OVER ENTIRE TREE BED.



- NOTES:**
1. LEADER OF TREES SHALL NEVER BE CUT.
 2. STAKING IS REQUIRED FOR ALL DECIDUOUS TREES UNDER 3" IN CALIPER AND ALL EVERGREEN TREES UNDER 8" IN HEIGHT.
 3. GUYING IS REQUIRED FOR ALL DECIDUOUS TREES 3" IN CALIPER AND GREATER AND ALL EVERGREEN TREES OVER 8" IN HEIGHT.
 4. DECIDUOUS TREES SHALL BE PRUNED TO THIN AND SHAPE CANOPY. EVERGREEN TREES SHALL HAVE ONLY DAMAGED OR BROKEN BRANCHES REMOVED.
 5. TREE SHALL BEAR SAME RELATION TO FINISHED GRADE AS IT BORE TO PREVIOUS GRADE IN THE NURSERY.



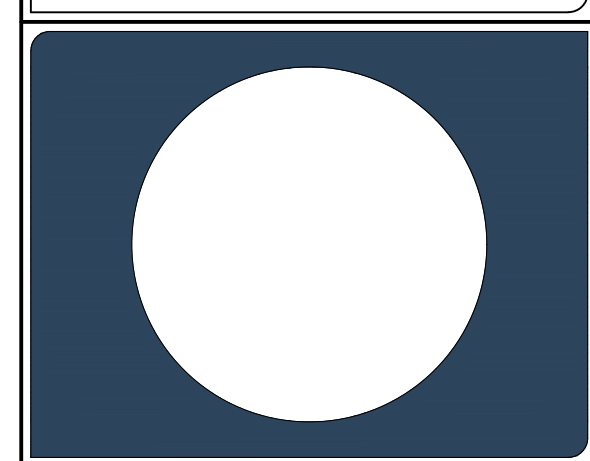
- NOTES:**
1. CONCRETE TO TEST 4,500 PSI @ 28 DAYS
 2. HEIGHT = 5'-0"
 3. OUTSIDE DIAMETER = 6'-6"
 4. CAPACITY = 1000 GALLONS

CONCRETE PAVER SIDEWALK

EVERGREEN TREE PLANTING

TREE PLANTING

DRYWELL



Michael E. Dipple, P.E. Date: 8/20/2024
New Jersey Professional Engineer #24GE04081200
WARNING: IF THIS PLAN DOES NOT CONTAIN A PAVED IMPRESSION SEAL, OVER THE PROFESSIONAL SIGNATURE IT IS NOT AN AUTHORIZED OFFICIAL COPY.

APPLICANT/OWNER:
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22 DRURY LANE
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201.220.8572

ARCHITECT:
FDS ARCHITECTS
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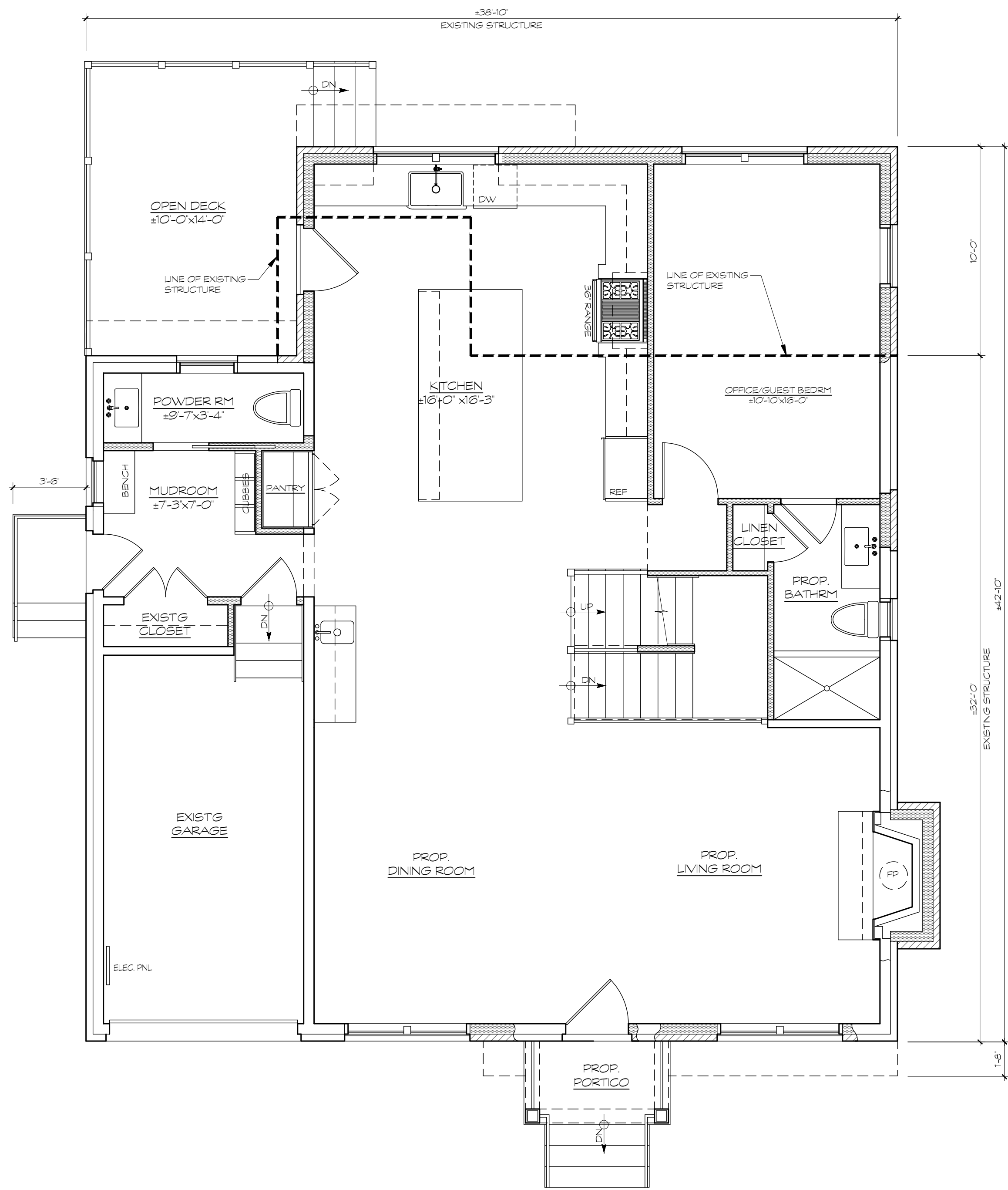
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LAKELAND SURVEYING, INC.
4 W MAIN STREET
ROCKAWAY, NJ 07866
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NO.	REVISION	DATE
1	INITIAL SUBMISSION TO ZONING BOARD OF ADJUSTMENT	8/20/24

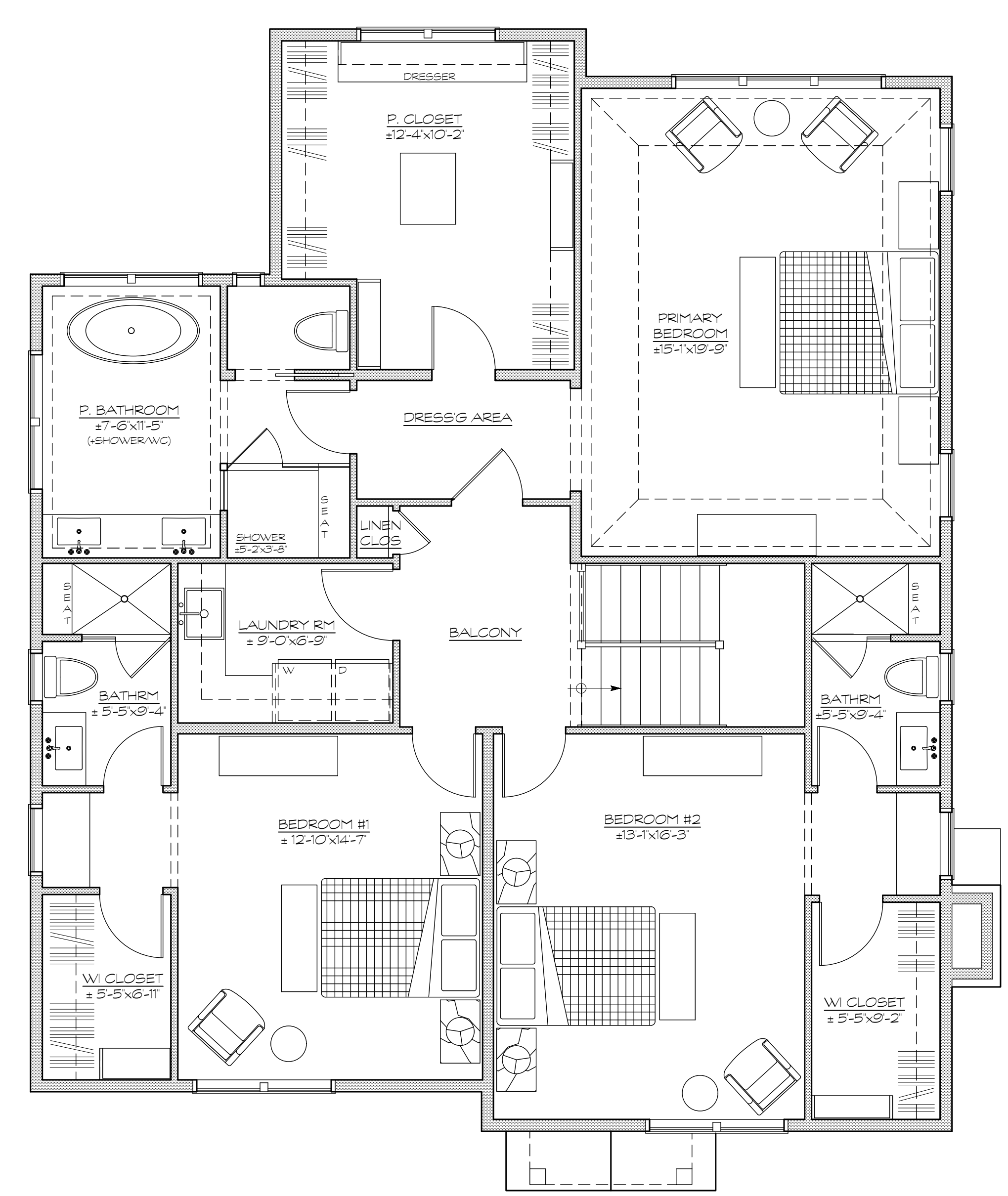
PROJECT LOCATION:
SINGLE-FAMILY RESIDENTIAL ADDITION
22 DRURY LANE
BOROUGH OF DEMAREST
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BLOCK: 10, LOT: 648
TAX MAP: 13

DRAWING TITLE:
DETAILS

SCALE:	REFER TO DRAWING
ORG. DATE:	6/4/2024
DESIGNED:	SMS
APPROVED:	JM/MED
L2A PROJ. No.:	2401.098
DRAWING No.:	



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 EXISTG LIVABLE AREA: 1,156 SQFT
 ADDED LIVABLE AREA: 227 SQFT
 GARAGE: 192 SQFT

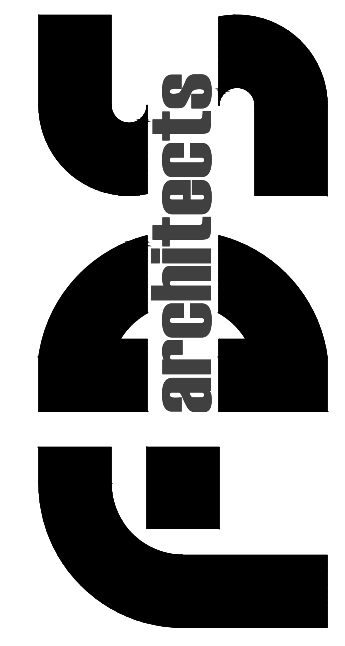


2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 LIVABLE AREA: 1,583 SQFT

PdQd

peter j. ditto, ra
 rj A1012148

82 north summit st. tenafly, nj 07670
 201-569-7500 fax 201-569-7525
 www.fdsarchitects.com



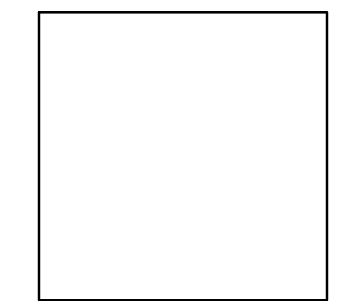
dwg: PROP. 1ST & 2ND FLR PLAN
 project: ALTERATION & ADDITION
 client: Williams Residence
 22 Drury Lane
 Demarest, NJ 07627
 project #: R-2860 date: 5.30.24
 scale: As Noted

MEETING 7.1.24
 MEETING 7.11.24
 BOARD OF ADJ. 8.22.24

PD-1



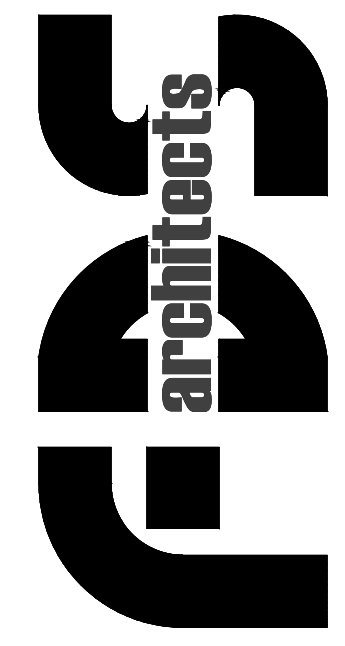
1 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



Pt. Pt.

peter j. ditto, p.a.
rj 1/01/2148

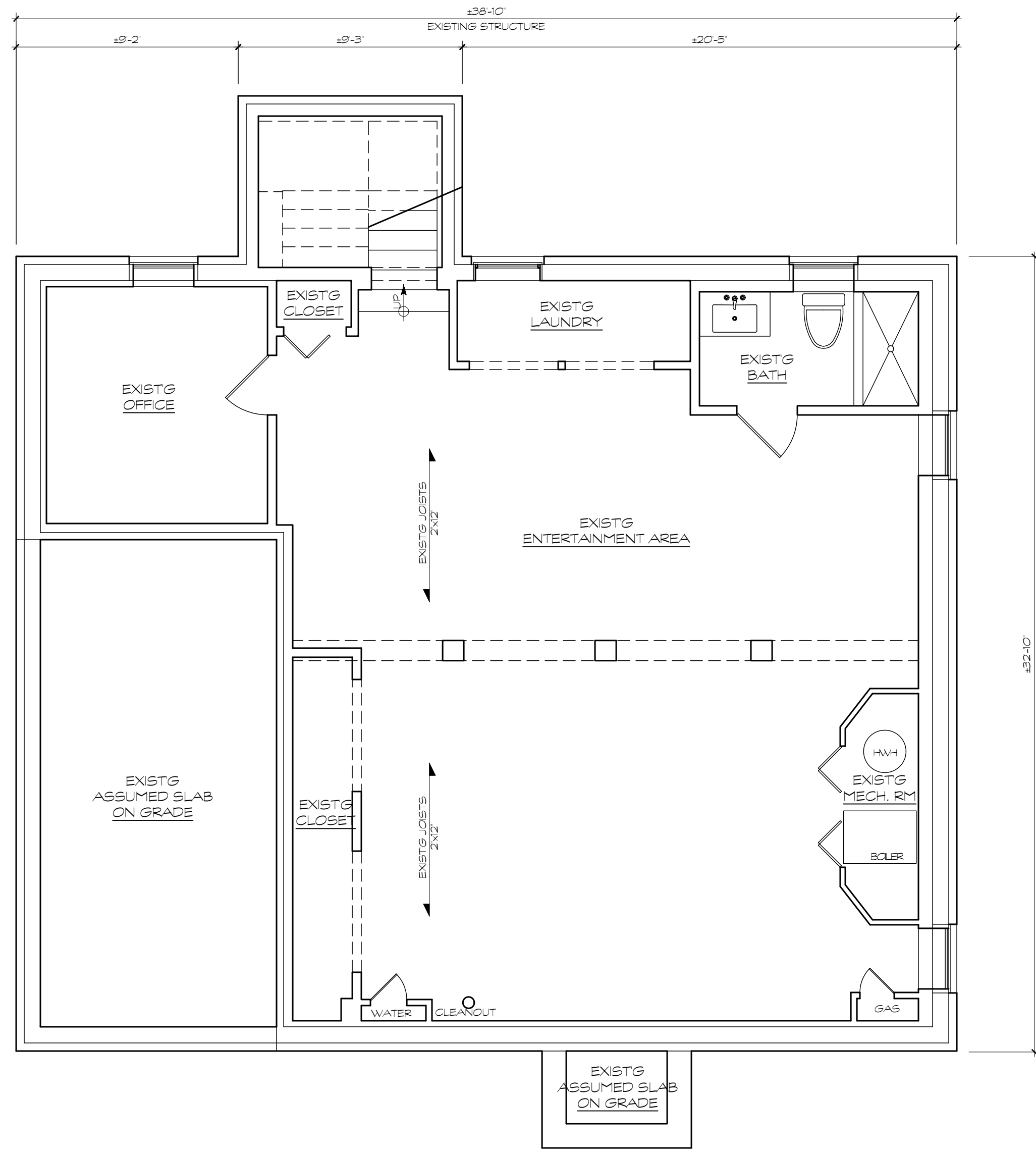
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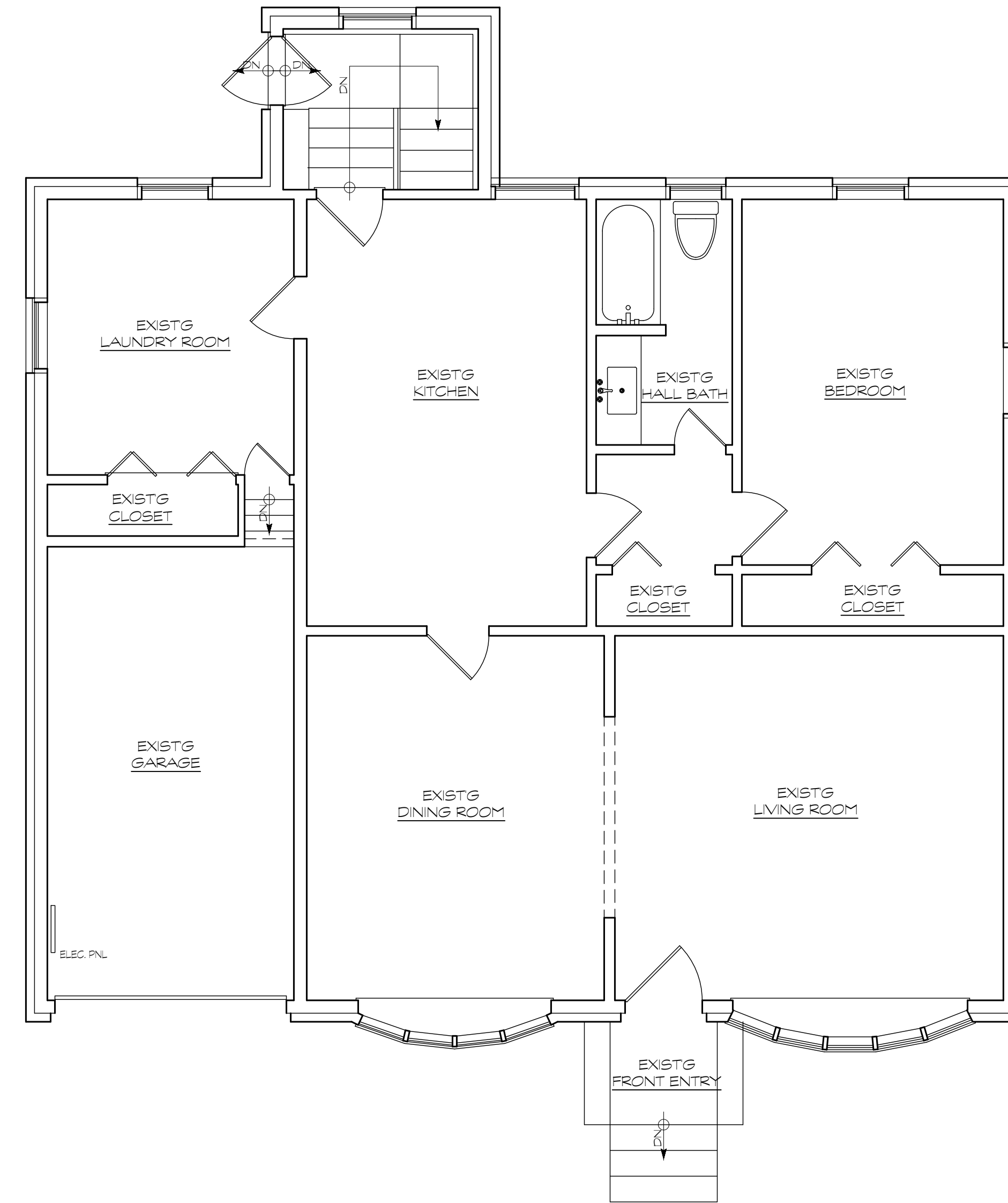
dwg: PROP. FRONT ELEVATION
project: ALTERATION & ADDITION
client: Williams Residence
22 Drury Lane
Demarest, NJ 07627
project #: R-2860 date: 5.30.24
scale: As Noted

MEETING 7.1.24
MEETING 7.11.24
BOARD OF ADJ. 8.22.24

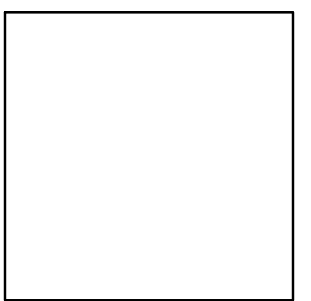
PD-2



1 EXISTG BASEMENT PLAN
SCALE: 1/4" = 1'-0" AREA: 1335 SQFT



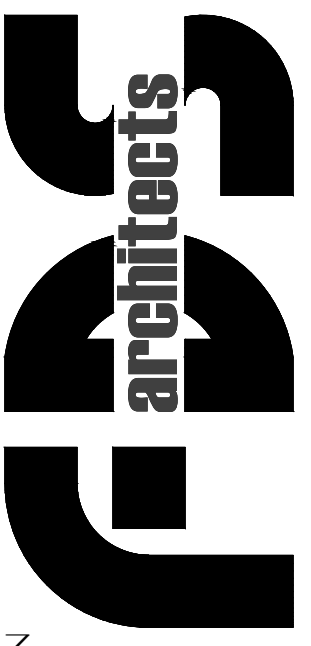
2 EXISTG 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0" LIVABLE AREA: 1,155 SQFT
GARAGE: 192 SQFT



Peter J. D'Amico

peter.j.dito, ra
rj.1012148

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dwg: EXISTG BASEMENT & 1ST FLR PLAN

project: ALTERATION & ADDITION

client: Williams Residence

22 Drury Lane
Demarest, NJ 07627

project #: R-2860 date: 5.30.24

scale: As Noted

BOARD OF ADJ. 8.22.24

